

C1 ZONING MAP 17b
C5 TAX MAP

ZONING ANALYSIS

PROPERTY DATA
 ADDRESS: 31 MAPLE STREET
 TAX BLOCK: 4791
 TAX LOT: 1, 2
 ZONING MAP NO.: 17
 ZONING DISTRICT: R6
 COMMUNITY BOARD: 8

SCOPE OF WORK
 PROPOSED 12 STORY RESIDENTIAL USE BUILDING WITH TOTAL OF 99 DWELLING UNITS
 OCCUPANCY CLASSIFICATION: R-2

PROJECT IS NOT IN SFHA
 THE PROJECT IS LOCATED IN OUTER TRANSIT ZONE
 MULTIPLE DWELLING CLASSIFICATION: HAEA

STRUCTURAL OCCUPANCY CATEGORY: II
 SEISMIC DESIGN CATEGORY: B
 CONSTRUCTION CLASSIFICATION: B
 THIS PROJECT WILL NOT BE A MODULAR CONSTRUCTION

SECTION	DESCRIPTION	ALLOWED/REQUIRED	PROPOSED
20-12	LOT AREA AND LOT WIDTH IN THROUGH RO DISTRICTS	MINIMUM LOT WIDTH (FT)	PROPOSED LOT WIDTH ALONG MAPLE STREET = 122' 0"
20-12	FLOOR AREA REGULATIONS FOR THROUGH RO DISTRICTS	MINIMUM LOT AREA (SQ FT)	PROPOSED LOT DEPTH = 165'
20-12	FLOOR AREA REGULATIONS FOR THROUGH RO DISTRICTS	PERMITTED FAR	PROPOSED LOT AREA = 99,800 SQ FT
20-12	REQUIRED RECREATION SPACE IN MULTIPLE DWELLING RESIDENCES	REQUIRED RECREATION SPACE - 3% MINIMUM	OVERALL SPA PROVIDED = 2,977.38 SF RESIDENTIAL ZFA PROVIDED = 73,439.18 SF TOTAL SPA PROVIDED = 1,934.66 SF
20-21	FLOOR AREA PROVISIONS FOR AMENITIES	MAX PERMITTED DEDUCTION - 5%	1ST FLOOR CO-WORKING SPACE = 658.18 SF 1ST FLOOR DMV = 1,015.50 SF 2ND FLOOR LOUNGE = 884.43 SF DEDUCTION TAKEN = 2,338.11 SF
20-22	FLOOR AREA PROVISIONS FOR CORRIDORS	5% DEDUCTION FOR CORRIDORS W/ ACCESS TO LIGHT	1ST FLOOR CO-WORKING SPACE = 658.18 SF 1ST FLOOR DMV = 1,015.50 SF 2ND FLOOR LOUNGE = 884.43 SF DEDUCTION TAKEN = 2,558.11 SF DEDUCTION TAKEN = 9,478.40 SF
20-23	FLOOR AREA PROVISIONS FOR REFUSE STORAGE AND DISPOSAL	NO PROVISION REQUIRED	DEDUCTION TAKEN = 297.00 SF
20-24	REAR YARD REQUIREMENTS	NO REAR YARD REQUIRED	NO REAR YARD REQUIRED
20-24(b)	REAR YARD REQUIREMENTS	NO REAR YARD REQUIRED	NO REAR YARD REQUIRED
20-24(c)	ADDITIONAL REAR YARD MODIFICATIONS	NO REAR YARD REQUIRED TO ANY ZONING LOT THAT INCLUDES A THROUGH LOT PORTION THAT IS CONTIGUOUS ON ONE SIDE TO TWO CORNER LOTS AND ADJACENT TO THE OTHER SIDE OF THE BLOCK	NO REAR YARD REQUIRED
20-24(d)	MAXIMUM LOT COVERAGE IN THROUGH RO	65% ZONING LOT AREA = 99,800 SQ FT 65% = 64,870 SQ FT	EXISTING LOT COVERAGE = 24,419.20 SF EXISTING LOT COVERAGE CORNER LOT = 7,587.80 SF EXISTING LOT COVERAGE INTERIOR THROUGH LOT = 7,521.11 SF SEE 2-D FOR LOT COVERAGE DIAGRAM
20-24(e)	FLOOR AREA AND LOT COVERAGE REGULATIONS - COMMUNITY FACILITY USES	PERMITTED FAR LOT COVERAGE CORNER LOT LOT COVERAGE INTERIOR LOT OR THROUGH LOT	EXISTING COMMUNITY FACILITY ZFA = 24,419.20 SF EXISTING LOT COVERAGE CORNER LOT = 7,587.80 SF EXISTING LOT COVERAGE INTERIOR THROUGH LOT = 7,521.11 SF
20-24(f)	HEIGHT AND SETBACK REGULATIONS	MIN. BASE HEIGHT MAX. BASE HEIGHT	PROPOSED BASE HEIGHT = 97' 3 3/4" REQUIRED SETBACK = 10' 0"
20-24(g)	STREET TREE PLANTING	STREET TREE PLANTING	11 TREES TO BE PLANTED TO SUBMIT 9 TREES TO BE PLANTED ON SITE 14 TREES TO BE PAID INTO OFF-SITE FUND
20-24(h)	REQUIRED PARKING IN THE OUTER TRANSIT ZONE	REQUIRED SPACES FOR DEVELOPMENTS OR ENLARGEMENTS IN THE OUTER TRANSIT ZONE	25 SPOTS OF ATTENDED PARKING PROVIDED
20-24(i)	STREET TREE PLANTING	STREET TREE PLANTING	11 TREES TO BE PLANTED TO SUBMIT 9 TREES TO BE PLANTED ON SITE 14 TREES TO BE PAID INTO OFF-SITE FUND

311 MAPLE STREET

LOT AREA: 59,600.00 SF
 MAX. BASE HEIGHT: 65'-0"
 MAX. BLDG HEIGHT (ELIGIBLE SITE): 129'-0"
 MAXIMUM RES. FAR: 2.20 FAR (RESIDENTIAL & COMMUNITY FACILITY)
 MAXIMUM CF. FAR: 4.80
 MAXIMUM ZFA: 285,000.00 ZFA (TOTAL)
 131,120.00 ZFA (RESIDENTIAL)
 154,880.00 ZFA (COMMUNITY FACILITY)
 MAX D.U. (680): 193 D.U.

DWELLING UNIT COUNT

FLOOR	STUDIO	1BED	2BED	3BED	TOTAL
CELLAR	0	0	0	0	0
1ST FLOOR	0	1	1	1	3
2ND FLOOR	1	7	7	8	23
3RD FLOOR	0	9	9	9	27
4TH FLOOR	0	9	9	9	27
5TH FLOOR	0	9	9	9	27
6TH FLOOR	0	9	9	9	27
7TH FLOOR	1	8	8	9	26
8TH FLOOR	1	8	8	9	26
9TH FLOOR	2	7	7	9	25
10TH FLOOR	2	7	7	9	25
11TH FLOOR	2	7	7	9	25
12TH FLOOR	2	7	7	9	25
13TH FLOOR	2	7	7	9	25
14TH FLOOR	2	7	7	9	25
15TH FLOOR	2	7	7	9	25
16TH FLOOR	2	7	7	9	25
17TH FLOOR	2	7	7	9	25
18TH FLOOR	2	7	7	9	25
19TH FLOOR	2	7	7	9	25
20TH FLOOR	2	7	7	9	25
21TH FLOOR	2	7	7	9	25
22TH FLOOR	2	7	7	9	25
23TH FLOOR	2	7	7	9	25
24TH FLOOR	2	7	7	9	25
25TH FLOOR	2	7	7	9	25
26TH FLOOR	2	7	7	9	25
27TH FLOOR	2	7	7	9	25
28TH FLOOR	2	7	7	9	25
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32TH FLOOR	2	7	7	9	25
33TH FLOOR	2	7	7	9	25
34TH FLOOR	2	7	7	9	25
35TH FLOOR	2	7	7	9	25
36TH FLOOR	2	7	7	9	25
37TH FLOOR	2	7	7	9	25
38TH FLOOR	2	7	7	9	25
39TH FLOOR	2	7	7	9	25
40TH FLOOR	2	7	7	9	25
41TH FLOOR	2	7	7	9	25
42TH FLOOR	2	7	7	9	25
43TH FLOOR	2	7	7	9	25
44TH FLOOR	2	7	7	9	25
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94TH FLOOR	2	7	7	9	25
95TH FLOOR	2	7	7	9	25
96TH FLOOR	2	7	7	9	25
97TH FLOOR	2	7	7	9	25
98TH FLOOR	2	7	7	9	25
99TH FLOOR	2	7	7	9	25

FLOOR AREA - TAX LOT 70

FLOOR	USE GROUP	EXISTING BUILDINGS (C.F.)	RESIDENTIAL	MECHANICAL BUILDINGS	CORRIDOR LOBBY	REC SPACE	PARKING / BICYCLE PARKING	REFUSE ROOM	TOTAL PER FLOOR	ZONING FLOOR AREA
CELLAR	II	1,827.88	5,527.46						5,527.46	
1ST FLOOR	II / III	14,157.80	11,855.00	27.76	1,759.26	1,463.59	6,600.42	3.00	9,854.02	2,940.98
2ND FLOOR	II / III	7,552.30	8,126.47	265.49	647.56	858.61		24.00	1,797.66	14,197.60
3RD FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
4TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
5TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
6TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
7TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
8TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
9TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
10TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
11TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
12TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
13TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
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16TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
17TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
18TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
19TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
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25TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
26TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
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33TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
34TH FLOOR	II / III	2,668.30	8,090.50	282.72	668.24			27.00	977.96	7,125.54
35TH FLOOR	II / III	2,668.30	8,0							

Table with 3 columns: REQUIREMENT, SPECIAL INSPECTIONS, CODE SECTION. Lists various inspection items like STRUCTURAL STEEL, CONCRETE, MASONRY, etc.

Table with 3 columns: REQUIREMENTS, TR-1 PROGRESS INSPECTIONS, CODE SECTION. Lists progress inspection items like FOOTING AND FOUNDATION, STRUCTURAL WOOD FRAME, etc.

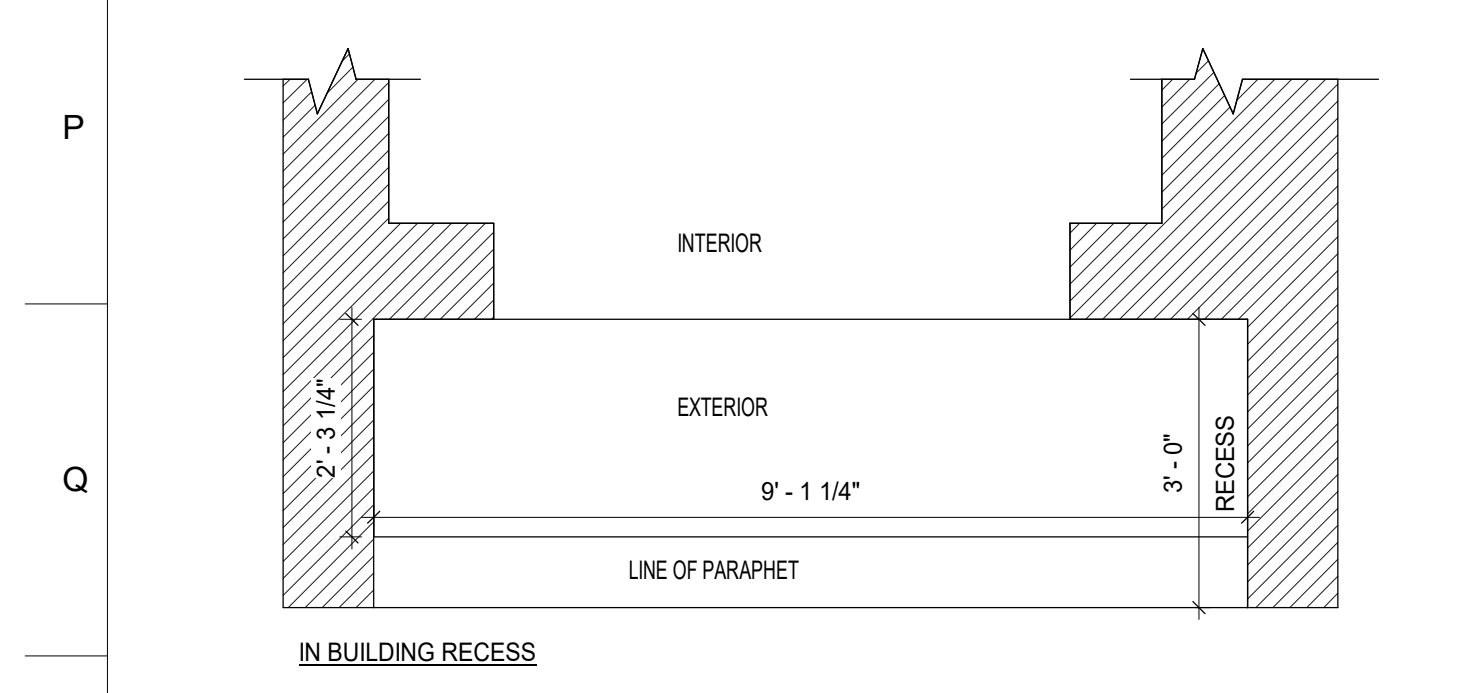
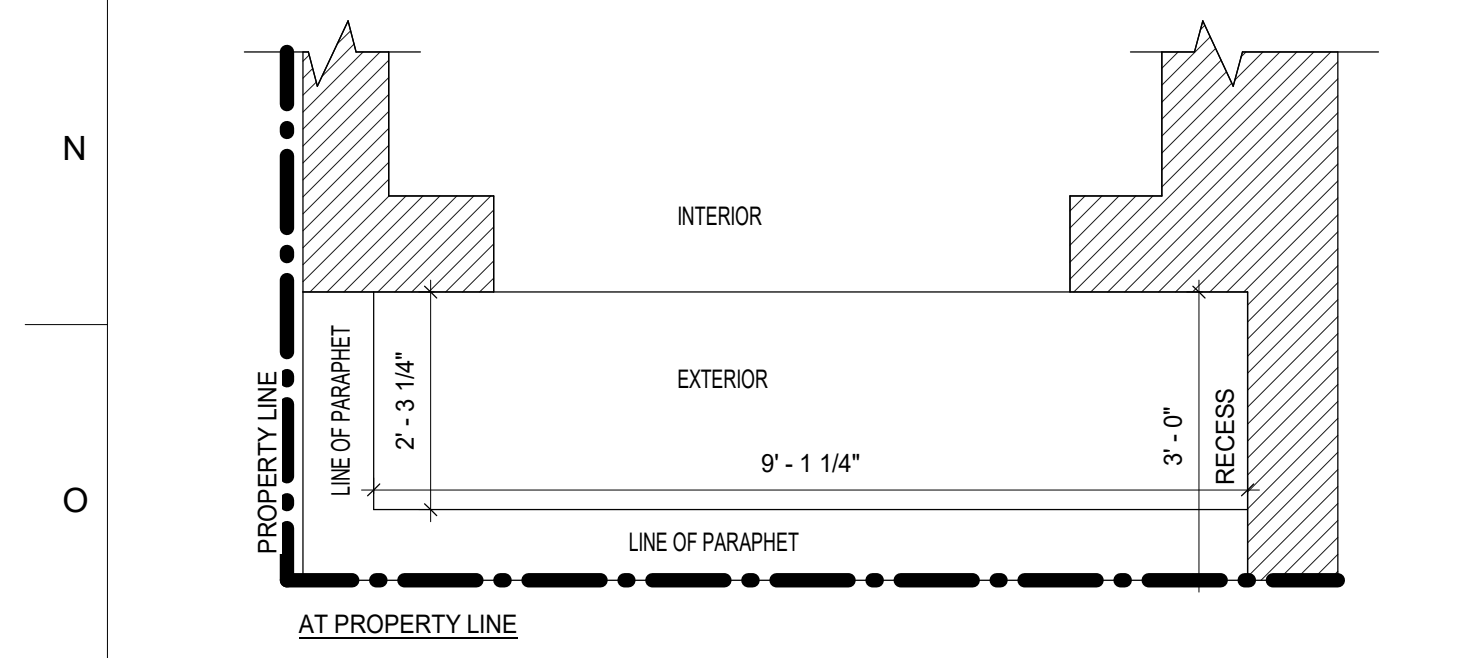
Table with 3 columns: REQUIRED, TR-4 ENERGY CODE PROGRESS INSPECTIONS, TABLE REF. Lists energy code inspection items like PROTECTION OF DAMAGED FOUNDATION INSULATION, etc.

NYSC PROFESSIONAL STATEMENT TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2018 NY EDC, APPENDIX C AS AMEND.

DOCUMENTS TO BE FILED SUBSEQUENTLY UNDER THIS APPLICATION: STRUCTURAL FOUNDATION - DOCK, SECEAN SPRING - DOCK, MECHANICAL, SPRINKLER, PLUMBING - DOCK

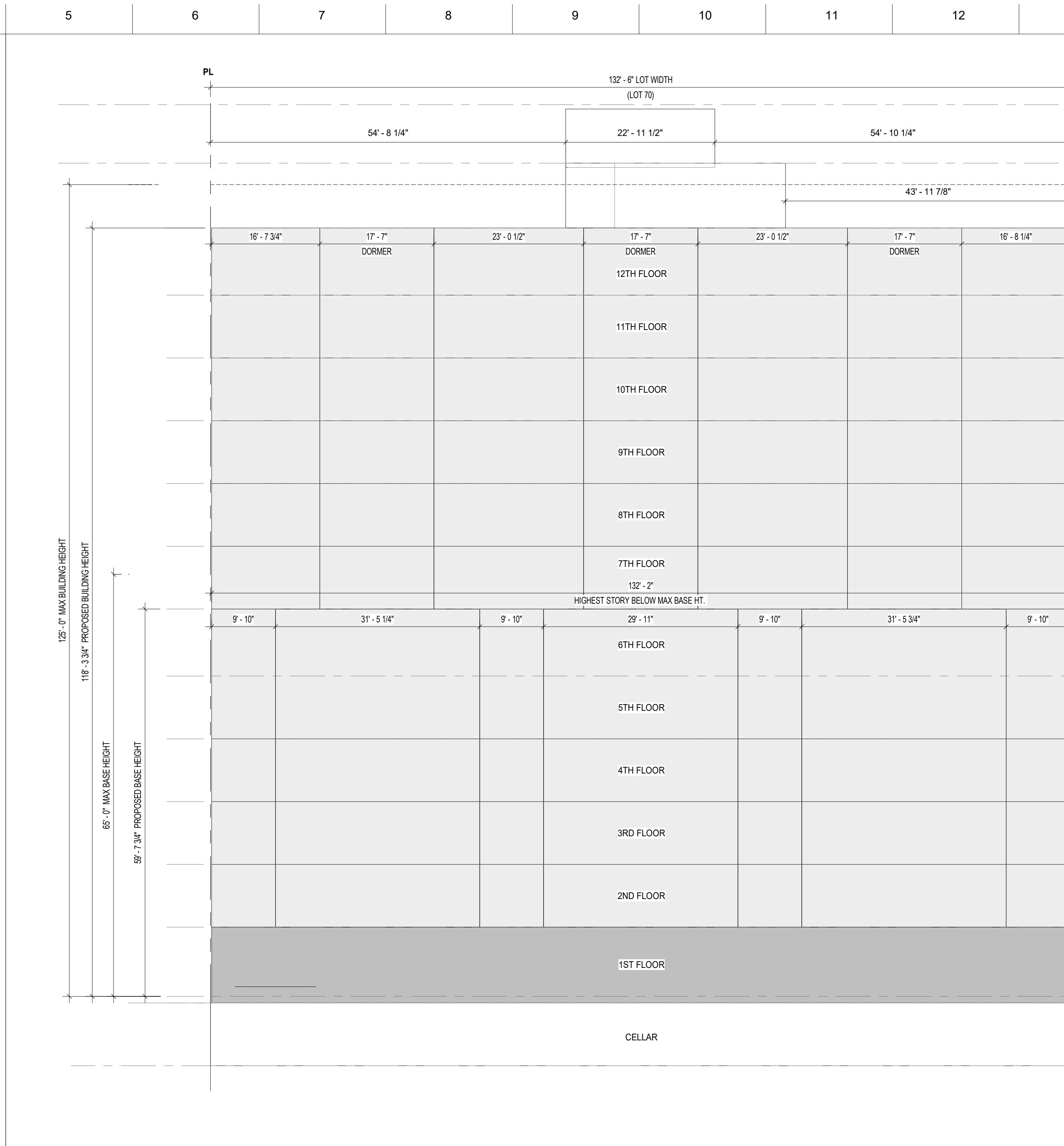
SEPARATE APPLICATIONS TO BE FILED: ELEVATOR - RPP, SPP, SHED, FENCE, RA.

M1 SPECIAL AND PROGRESS INSPECTION ITEMS

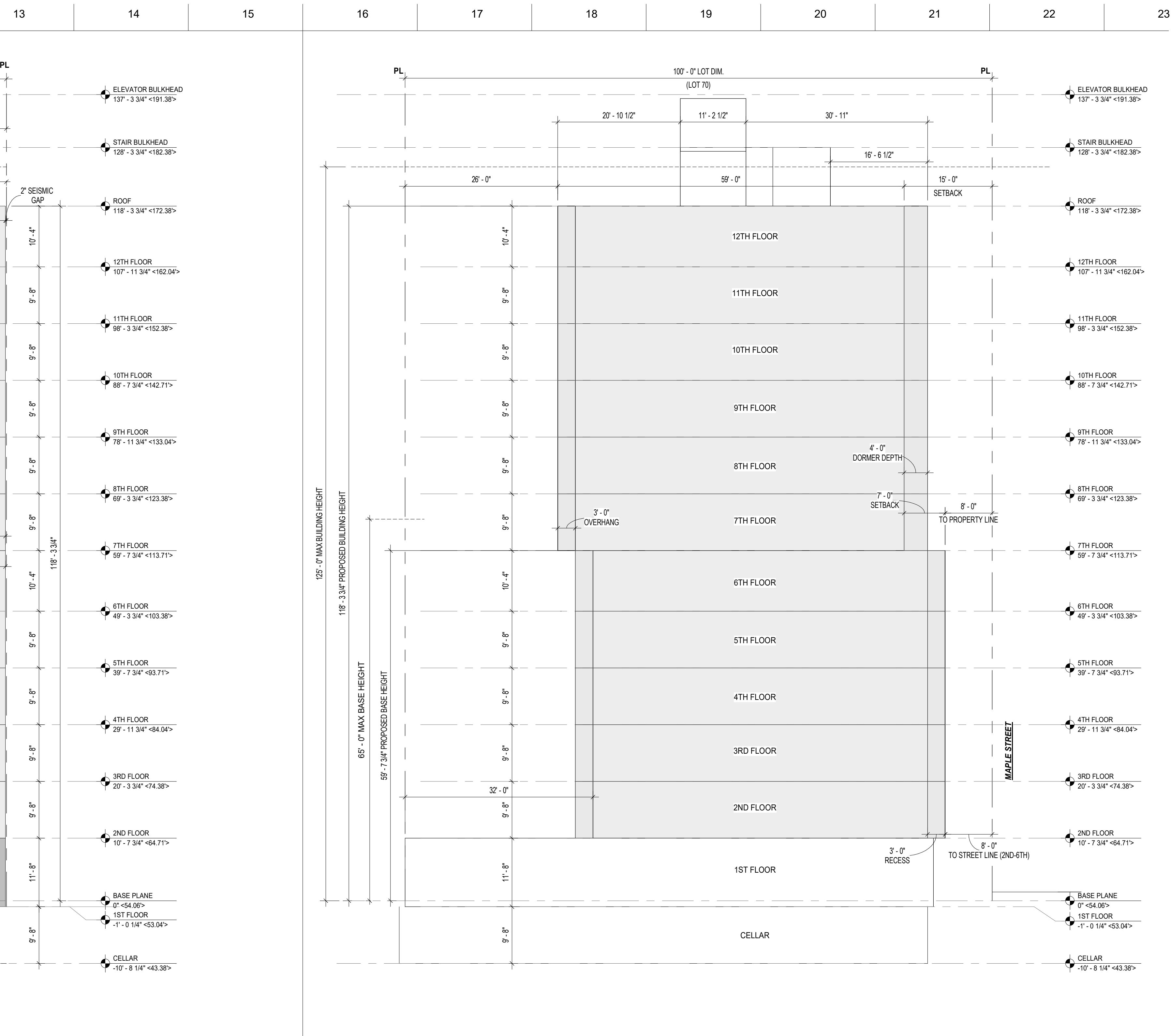


PER ZR 23-433(b)(1) & ZR 12-10 DEFINITION OF FLOOR AREA: BALCONIES ARE NOT FLOOR AREA PROVIDED THAT NOT MORE THAN 6% OF THE PERIMETER OF SUCH BALCONY IS ENCLOSED. WORST CASE SCENARIO: IN BUILDING RECESS BALCONY PERIMETER = (9'-1 1/4\"/>

R1 ENLARGED BALCONY DETAIL



15 MASSING DIAGRAM-FRONT VIEW



116 MASSING DIAGRAM-SIDE VIEW

ZR 23-413 - PERMITTED OBSTRUCTION IN CERTAIN DISTRICTS

(B) IN THE DISTRICTS INDICATED, FOR BUILDINGS OTHER THAN THOSE SUBJECT TO THE PROVISIONS SET FORTH IN SECTION 23-421, FOR THOSE BUILDINGS SUBJECT TO ANY HEIGHT AND SETBACK REGULATIONS, THE FOLLOWING RULES SHALL APPLY WITHIN A REQUIRED FRONT SETBACK DISTANCE ABOVE A MAXIMUM BASE HEIGHT: (1) DORMERS SHALL BE ALLOWED AS A PERMITTED OBSTRUCTION, PROVIDED THAT ON ANY STREET FRONTAGE, EITHER ONE OF THE FOLLOWING METHODS IS APPLIED: (a) THE AGGREGATE WIDTH OF ALL DORMERS AT THE MAXIMUM BASE HEIGHT DOES NOT EXCEED 40 PERCENT OF THE WIDTH OF THE STREET WALL OF THE HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT. SUCH DORMERS NEED NOT DECREASE IN WIDTH AS THE HEIGHT ABOVE THE MAXIMUM BASE HEIGHT INCREASES.

DORMER CALCULATION:

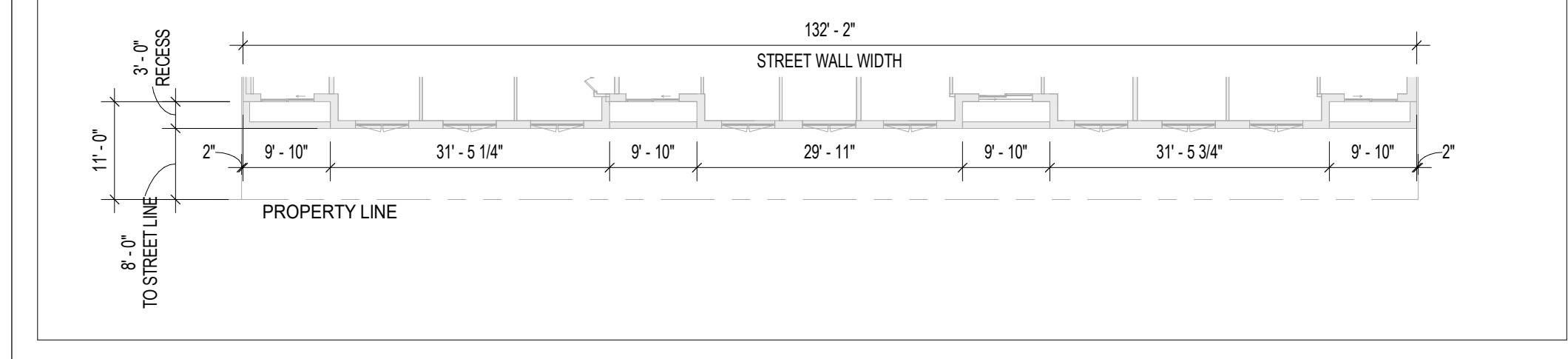
HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT: 7TH FLOOR 7TH FLOOR STREET WALL WIDTH = 132'-2" • 40% x 132'-2" = 52'-10 3/8" • AGGREGATE DORMER WIDTH: 17'-7" x 3 = 52'-9" < 52'-10 3/8" (OK)

ZR 23-431 - STREET WALL LOCATION

(B) PERCENTAGE-BASED RULE (2) ALONG NARROW STREETS, AT LEAST 70 PERCENT OF THE AGGREGATE WIDTH OF STREET WALL SHALL BE LOCATED WITHIN 10 FEET OF THE STREET LINE AND EXTEND TO AT LEAST THE MINIMUM BASE HEIGHT SPECIFIED IN SECTION 23-432, OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS, UP TO 30 PERCENT OF THE AGGREGATE WIDTH OF STREET WALLS MAY BE RECESSED BEYOND 10 FEET OF THE STREET LINE, PROVIDED THAT ANY SUCH RECESSES DEEPER THAN 15 FEET ARE LOCATED WITHIN AN OUTER COURT. (D) ARTICULATION ALLOWANCES TO ACCOMMODATE OTHER FORMS OF STREET WALL ARTICULATION, SUCH AS BAY WINDOWS, AND FACADE RECESSES, UP TO 50 PERCENT OF THE AGGREGATE WIDTH OF STREET WALL AT ANY LEVEL, MAY RECESS OR PROJECT BEYOND SUCH STREET WALL LOCATION PROVISIONS OF THIS SECTION, PROVIDED THAT NO SUCH RECESS OR PROJECTION EXCEEDS A DEPTH OF THREE FEET, AS MEASURED PERPENDICULAR TO THE STREET WALL, OR PORTION THEREOF.

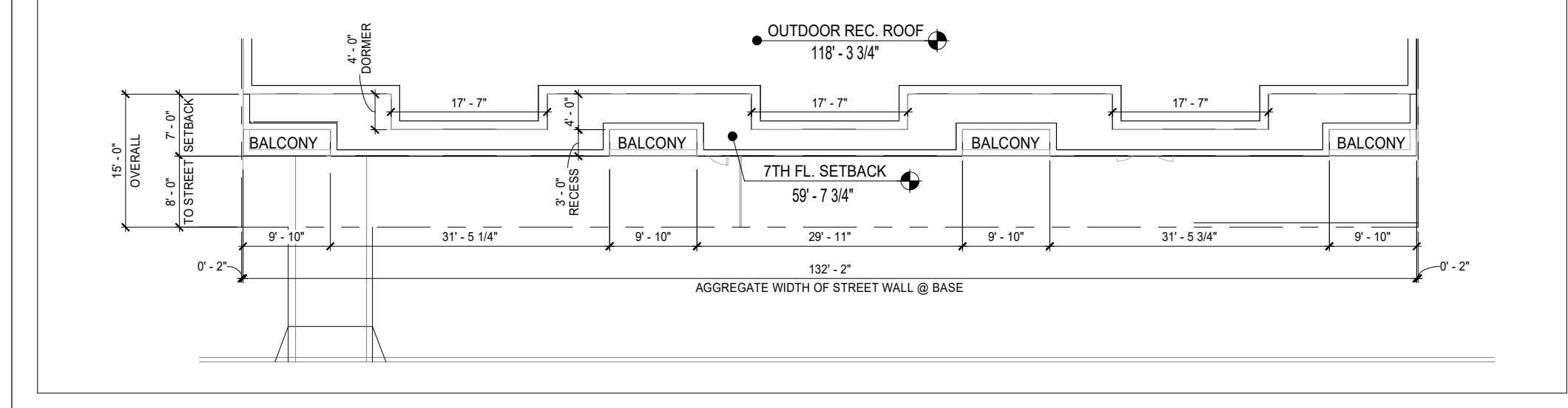
CALCULATION:

• 70% OF STREET WALL WITHIN 10 FT OF STREET LINE (2ND-6TH FL) - 70% x 132'-2" STREET WALL WIDTH = 92'-4 3/16" - TOTAL STREET WALL WIDTH WITHIN 10 FT: 32'-1 1/4" + 30'-4 1/4" + 32'-1 1/2" = 94'-7" > 92'-4 3/16" (OK) • 30% OF STREET WALL RECESSING BEYOND 10 FT OF STREET LINE (2ND-6TH FL) - 30% x 132'-2" = 39'-7 3/16" - 9'-4 3/4" x 4 RECESSES = 37'-7" TOTAL RECESS @ 11 FT FROM STREET LINE (OK) - ARTICULATION ALLOWANCE: ALL RECESSES FROM STREET WALL DO NOT EXCEED 3'-0" (OK) • 1ST FLOOR STREET WALL AT 10' FROM STREET LINE (OK)

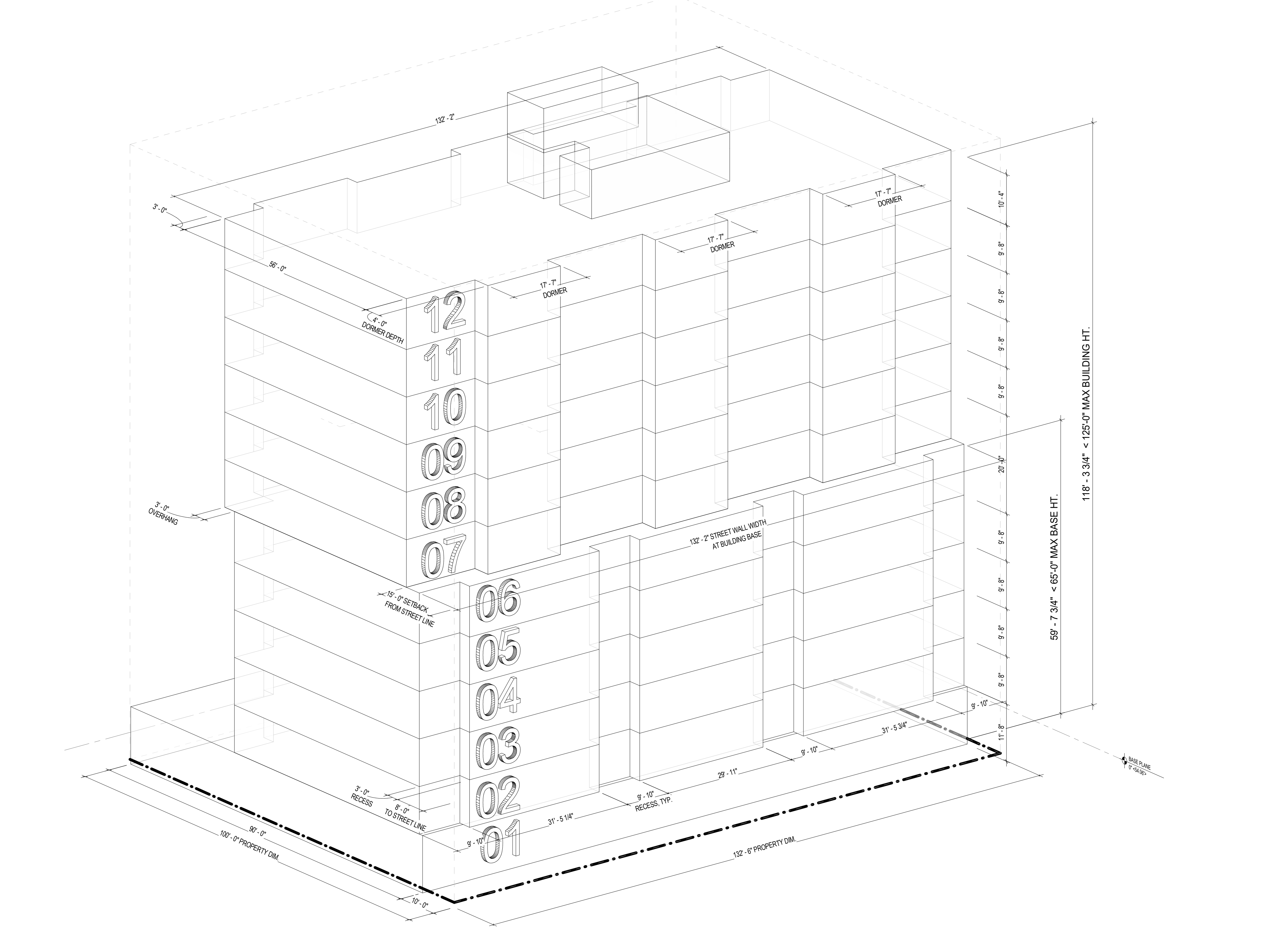


ZR 23-433 STANDARD SETBACK REGULATIONS

A SETBACK OF AT LEAST 15 FEET SHALL BE PROVIDED FROM ANY STREET WALL FRONTING ON A NARROW STREET. SUCH MINIMUM SETBACKS MAY BE MODIFIED AS FOLLOWS: (a) REQUIRED SETBACK REDUCED BY 1 FOOT FOR EVERY FOOT THAT THE STREET WALL IS LOCATED BEYOND THE STREET LINE. SETBACK NOT LESS THAN 7 FEET. (b) STREET WALL LOCATED 8 FT FROM THE STREET LINE, HENCE SETBACK REDUCED BY 8 FT. (c) THE DEPTH OF SUCH SETBACKS MAY INCLUDE THE DEPTH OF RECESSES OR OUTER COURTS IN THE STREET WALL OF THE BUILDING BASE, NOT TO EXCEED 30 PERCENT OF THE AGGREGATE WIDTH OF STREET WALL AT ANY LEVEL. -THE DEPTH OF THE 7 FT SETBACK INCLUDES THE DEPTH OF THE RECESS FOR ONLY 30% OF THE STREET WALL (OK)



R5 ZONING MASSING



REVISION TABLE with columns: NUMBER, DATE, DESCRIPTION

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DOB SUBMISSION



ZONING ANALYSIS AND HEIGHT & SETBACK

Table with columns: DOB JOB #, BIN #, DATE, DRAWN BY, SCALE. Values: B01271705-11, 8/18/2025, Author, As Indicated

Z-002.00 SHEET 3 OF 50

DOB BSCAN STICKER