

YARD REGULATIONS

23-47, 117-525(a) For a residential portion of a mixed use building, the required rear yard shall be provided at the floor level of the lowest story containing dwelling units or rooming units, where any window of such dwelling units or rooming units faces onto such rear yard.
 23-541 Not required within 100' of the intersection of two street lines
 23-532 60' Rear Yard Equivalent required midway (or within 5' of being midway) between 24th St. & 23rd St. street lines

LOT COVERAGE

117-523 N/A FOR MIXED-USE BUILDING IN LONG ISLAND CITY MIXED USE DISTRICT

STREET WALL LOCATION

117-531(a) WIDE STREET
 35-631 (a)(1) Street wall shall be located on the street line and extend along the entire street frontage of the zoning lot up to at least the minimum base height specified in Section 35-631.
 117-532

HEIGHT AND SETBACK

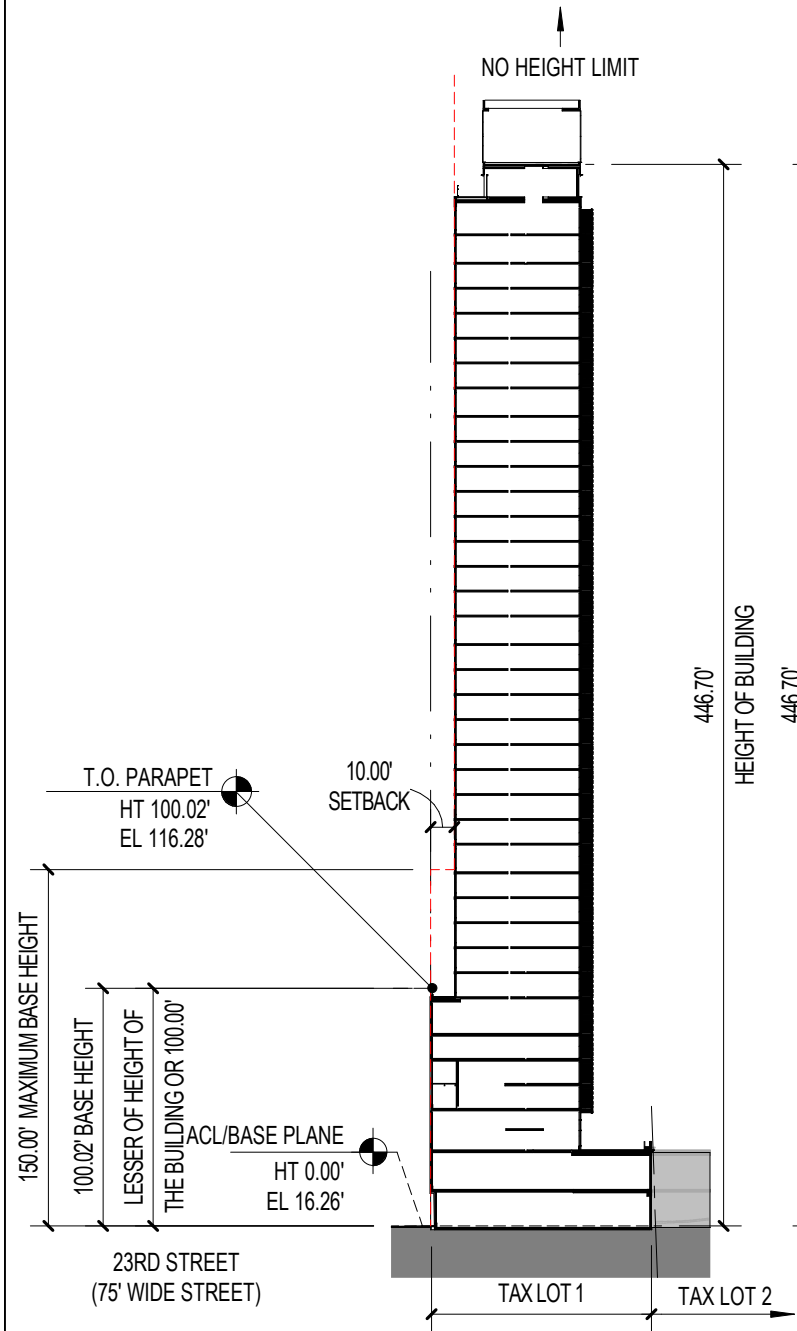
117-532(a) **BASE HEIGHT**
 Area B
 Minimum base height: Lesser of height of the building or 100'
 Maximum base height: 150'
 Proposed base height: 100.02'

SETBACK

On a wide street: 10' setback

STREET TREE PLANTING

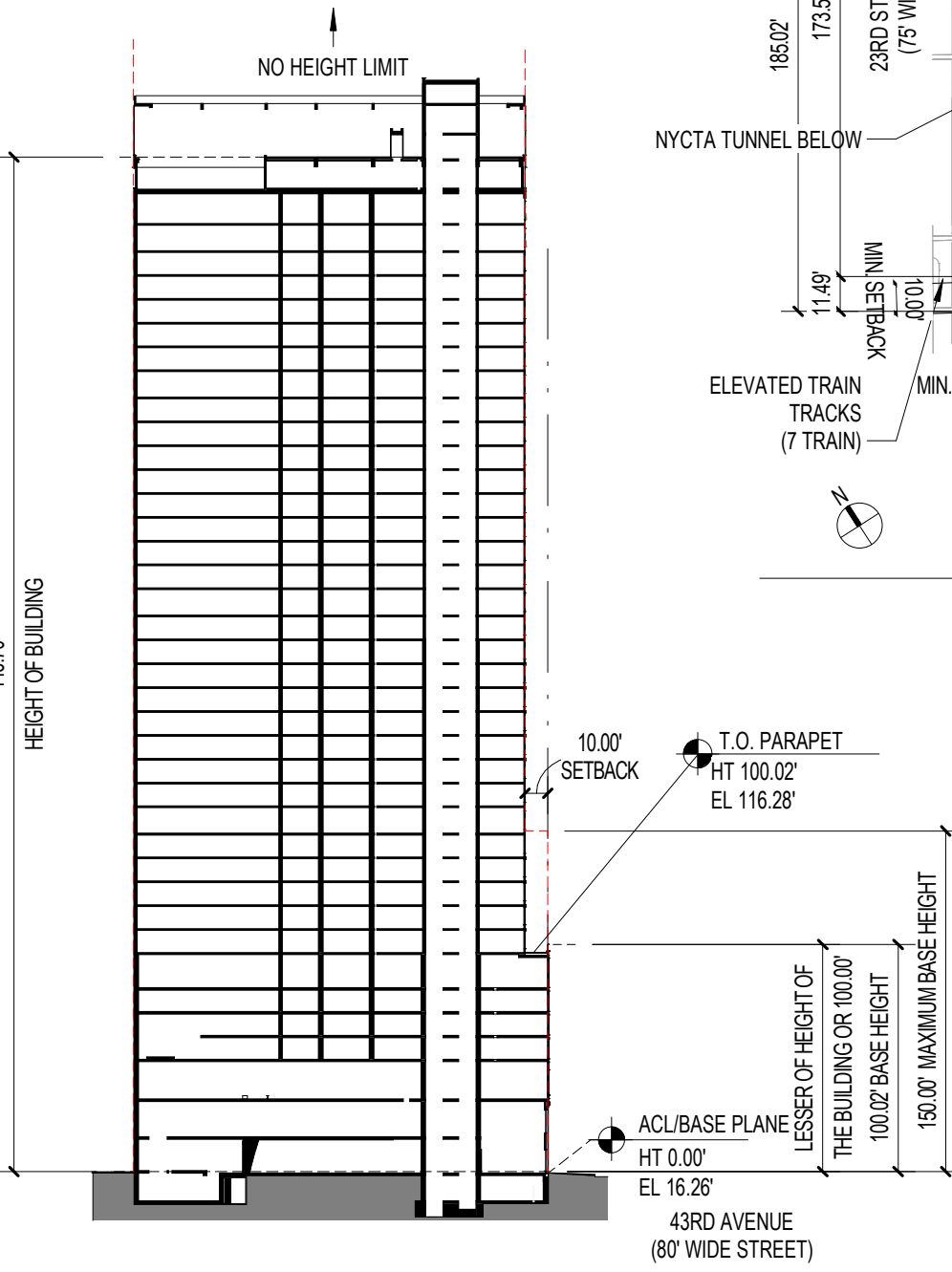
23-03 REQUIRED NUMBER OF TREES:
 26-41 1 PER 25' OF ZONING FRONTAGE
 43-02 LENGTH OF STREET FRONTAGE ON TAX LOT 1:
 275' / 25' = 11 TREES
 TOTAL NUMBER OF TREES REQUIRED = 11
 11 TREES SHALL BE FUNDED AND DEPOSITED TO AN ACCOUNT OF THE CITY OF NEW YORK



ZD1 - BUILDING SECTION E/W

1" = 80'-0"

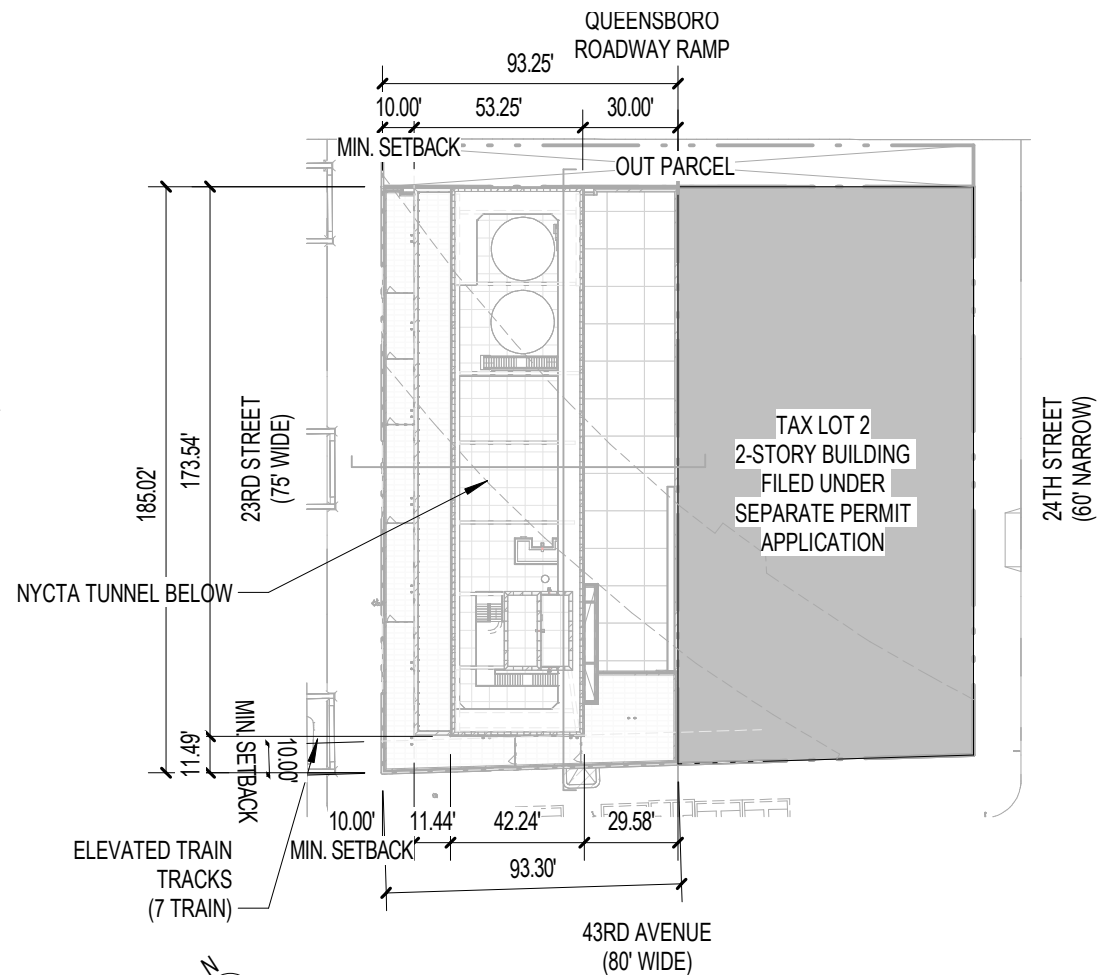
3



ZD1 - BUILDING SECTION N/S

1" = 80'-0"

2



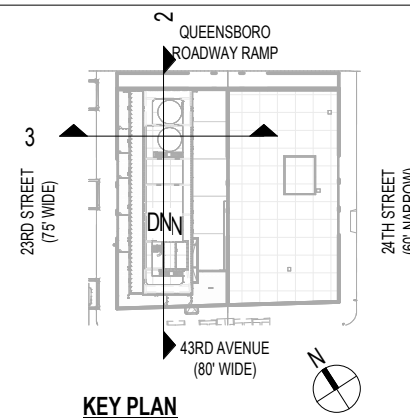
ZD1 - SITE PLAN DIAGRAM

1" = 60'-0"

1

LEGEND

EXISTING ZONING DISTRICT	M1-5/R9, SPECIAL 117
PROPOSED ZONING DISTRICT	M1-5/R9, SPECIAL 117
ZONING MAP	QPSB
QUEENS COMMUNITY DISTRICT	QUEENS CD2
	PROPOSED BUILDING
	ZONING LOT LINE
	MAXIMUM BUILDING ENVELOPE



KEY PLAN



ZD1 Zoning Diagram
 Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

Location Information

House No(s) 23-07
 Street Name 43 AVENUE

Borough QUEENS
 Block 428
 Lot 1
 BIN

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)

GARY HANDEL
 Signature _____ Date 7/21/2025



P.E. / R.A. (Professional Seal) _____
 (Seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

ZD1 Zoning Diagram
Must be typewritten.

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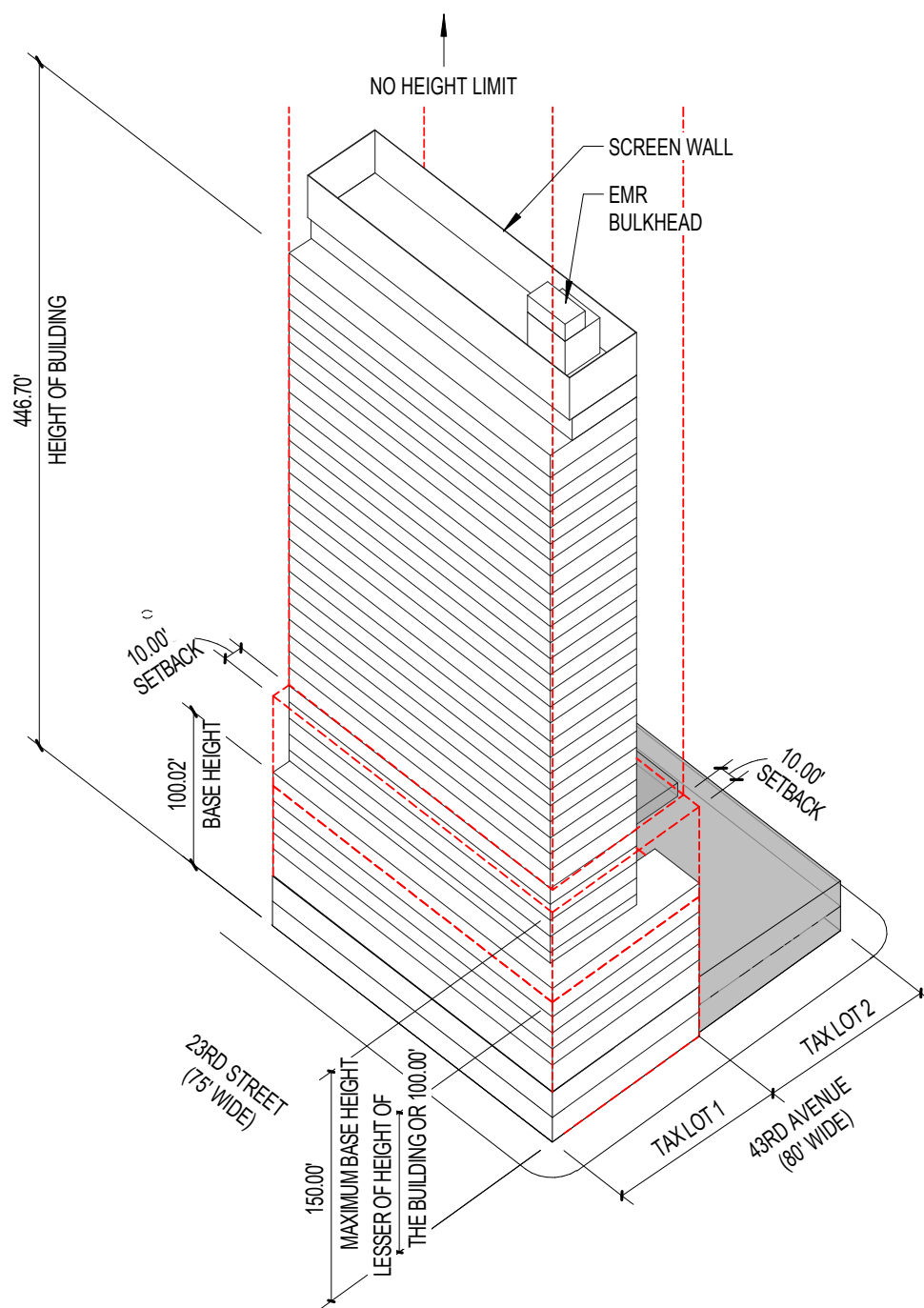
GARY HANDEL
Signature _____ Date 7/21/2025

P.E. / R.A. (Professional Engineer/Architect) (Please sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



ZD1 - AXONOMETRIC DIAGRAM NTS

1



ZD1 Zoning Diagram

Must be typewritten.
Sheet ____ of ____

1 Applicant Information Required for all applications.

Last Name	HANDEL	First Name	GARY	Middle Initial	E
Business Name	HANDEL ARCHITECTS		Business Telephone	212-595-4112	
Business Address	120 Broadway, 6th FL			Business Fax	
City	NEW YORK	State	NY	Zip	10271
E-Mail	ghandel@handelarchitects.com		Mobile Telephone	License Number	016994

2 Additional Zoning Characteristics Required as applicable.

Dwelling Units	387	Parking area	sq. ft.	Parking Spaces: Total	194	Enclosed	66 (lot1)
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3 BSA and/or CPC Approval for Subject Application Required as applicable.

Board of Standards & Appeals (BSA)

<input type="checkbox"/> Variance	Cal. No. _____	Authorizing Zoning Section	72-21
<input type="checkbox"/> Special Permit	Cal. No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> General City Law Waiver	Cal. No. _____	General City Law Section	_____
<input type="checkbox"/> Other	Cal. No. _____		

City Planning Commission (CPC)

<input type="checkbox"/> Special Permit	ULURP No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> Authorization	App. No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> Certification	App. No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> Other	App. No. _____		

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
CEL	8979	II	0				0.0
001	16615	II, VI	4231		1774		0.18
002	15859	II	1879				0.05
003	12381	II	3614				0.09
004	12516	II	4695				0.14
005	8066	II	4785				0.14
006	12513	II	10205				0.30
007	12512	II	10204				0.31
008	9263	II	7274				0.21
009	9263	II	7274				0.21
010	9263	II	7274				0.21
011	9263	II	7274				0.21
012	9263	II	7274				0.21

ZD1

Sheet ____ of ____

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
013	9263	II	7274				0.21
014	9258	II	7232				0.21
015	9263	II	7274				0.21
016	9263	II	7274				0.21
017	9263	II	7274				0.21
018	9263	II	7274				0.21
019	9263	II	7274				0.21
020	9263	II	7274				0.21
021	9263	II	7274				0.21
022	9263	II	7274				0.21
023	9263	II	7274				0.21
024	9263	II	7274				0.21
025	9263	II	7274				0.21
026	9263	II	7274				0.21
027	9263	II	7274				0.21
028	9263	II	7274				0.21
029	9263	II	7274				0.21
030	9263	II	7274				0.21
031	9263	II	7274				0.21
032	9263	II	7274				0.21
033	9263	II	7274				0.21
034	9263	II	7274				0.21
035	9263	II	7274				0.21
036	9263	II	7274				0.21
037	9263	II	7274				0.22
038	9263	II	7596				0.22
039	4052	II	1054				0.03
EMR & ROF	1200	II	0				0.0
LOT 2	42794	VI			3048		0.08
Totals	434,624		268204		4822		7.98

Total Zoning Floor Area	271252
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