

ZONING CALCULATIONS

ADDRESS: 42-38 27th STREET, LONG ISLAND CITY, NY
 BLOCK: 430
 LOT: 18, 16, 15, 14 & 19
 ZONING DISTRICT: M1-5/R7-3 (SPECIAL LONG ISLAND CITY MIXED USE DISTRICT - QUEENS PLAZA SUBDISTRICT AREA C)
 ZONING MAP: 9b
 ZONING USE GROUP: 2 (RESIDENTIAL), 6A (RETAIL OR SERVICE ESTABLISHMENTS)
 OCCUPANCY GROUP: R-2 (RESIDENTIAL) & M (MERCANTILE)
 CONSTRUCTION CLASS: R
 NUMBER OF STORIES: 7 STORIES WITH CELLAR
 BUILDING HEIGHT: 86'-0"
 LOT AREA: 139.62 x 100' = 13,962 S.F.
 USE QUALITY HOUSING PROGRAM

ZR 117-50 ~ 117-57 QUEENS PLAZA DISTRICT, M1-5/R7-3 SHALL COMPLY WITH ARTICLE XII, CHAPTER 3
 ZR 117-523 (a) & ZR 117-522
 MAX. RESIDENTIAL LOT COVERAGE FOR INTERIOR LOT = 70%
 PERMITTED RESIDENTIAL LOT COVERAGE = 13,962 SF X 0.7 = 9,773.40 SF
 PROPOSED RESIDENTIAL LOT COVERAGE = 8,554.70 SF < 9,773.40 SFO.K.
 PROPOSED RESIDENTIAL LOT COVERAGE (IN PERCENTAGE) = 8,554.70 / 13,962 = 62% < 70%.....O.K.

ZR 117-522
 MAX. FAR FOR RESIDENTIAL USE: 5.00
 PERMITTED RESIDENTIAL FLOOR AREA = 13,962 X 5.00 = 69,810 SF
 PROPOSED RESIDENTIAL AREA = 38,371.44 SF < 69,810 SFOK

ZR 117-522
 (LOT# 18, 16, 15, 14 & LOT 19) LOT AREA - 13,962 SF
 MAX. FAR FOR COMMERCIAL USE = 5.0
 PERMITTED COMMERCIAL FA = 13,962 X 5.00 = 69,810 SF
 PROPOSED COMMERCIAL AREA = 12,334.96 SF < 69,810 SFO.K.

ZR 117-522
 (LOT# 18, 16, 15, 14 & LOT 19) LOT AREA - 13,962 SF
 MAX. FAR FOR MIXED-USE USE = 5.0
 PERMITTED MIXED-USE FA = 13,962 X 5.00 = 69,810 SF
 PROPOSED MIXED-USE AREA = (38,371.44 + 12,334.96) = 50,706.40 SF < 69,810 SFO.K.

FLOOR AREA SCHEDULE

UNIT	RESIDENTIAL NET AREA	COMMERCIAL NET AREA
CEL. FL.		
1ST FL.	13,522.05 SF	
2ND FL.	8,554.70 SF	
3RD FL.	7,356.63 SF	
4TH FL.	7,356.63 SF	
5TH FL.	7,356.63 SF	
6TH FL.	7,356.63 SF	
7TH FL.	6,664.86 SF	
TOTAL	38,371.44 SF	12,334.96 SF
(2 BED = 21%, 1 BED = 77%, STUDIO = 2%)		

ZR 23-20 DENSITY REGULATIONS

REQUIRED/ALLOWED	PROPOSED	ZR SECTION	REMARK
56	56	ZR 23-22	38,371.44 SF / 680 SF = 56 UNITS TOTAL: 56 DU PROPOSED 56 DU.....OK

ZR 23-32 MIN. LOT AREA OR LOT WIDTH FOR RESIDENCES

DISTRICT	MIN. LOT AREA	MIN. LOT WIDTH	ZR SECTION	REMARK
R7-3	1,700 SF	18'-0"	ZR 23-32	13,962 SF (27th STREET)

ZR 117-512 GROUND FLOOR USE & FRONTAGE REGULATIONS

GROUND FLOOR USE
 ZR 117-512
 USES WITHIN STORIES ON THE GROUND FLOOR OR WITH A FLOOR LEVEL WITHIN FIVE FEET OF CURB LEVEL SHALL BE LIMITED TO COMMERCIAL, MANUFACTURING OR COMMUNITY FACILITY USES PERMITTED BY THE DESIGNATED DISTRICT REGULATIONS.

STREET FRONTAGE
 ZR 117-512
 IN NO EVENT SHALL THE LENGTH OF STREET FRONTAGE OCCUPIED BY LOBBY SPACE, ENTRANCE SPACE AND/OR A BUILDING ENTRANCE RECESS EXCEED IN TOTAL 50 PERCENT OF THE BUILDING'S TOTAL LENGTH OF STREET FRONTAGE OR 30 FEET, WHICHEVER IS LESS. HOWEVER, THE TOTAL LENGTH OF STREET FRONTAGE OCCUPIED BY LOBBY SPACE AND/OR ENTRANCE SPACE NEED NOT BE LESS THAN 25 FEET.

ZR 117-525 SPECIAL YARD REGULATIONS

REQUIRED/ALLOWED	PROPOSED	ZR SECTION	REMARK
0	0	ZR 117-525	NO FRONT YARD IS REQUIRED IN SPECIAL MIXED USE DISTRICTS
0	0	ZR 117-525	NO SIDE YARD IS REQUIRED IN SPECIAL MIXED USE DISTRICTS
30'-0"	30'-0"	ZR 23-47	

ZR 117-53 HEIGHT AND SETBACK REGULATIONS

REQUIRED/ALLOWED	PROPOSED	ZR SECTION	PERMITTED	PROPOSED	ZR SECTION
			60'-0"	86'-0"	ZR 117-532 (A)
			100'-0"	86'-0"	
				86'-0"	

STREET WALL LOCATION

ZR 117-531
 STREET WALL LOCATION ON WIDE STREET IN THE QUEENS PLAZA SUBDISTRICT, THE STREET WALL OF A BUILDING SHALL BE LOCATED ON THE STREET LINE AND EXTEND ALONG THE ENTIRE STREET FRONTAGE OF THE ZONING LOT. RECESSES, NOT TO EXCEED THREE FEET IN DEPTH FROM THE STREET LINE, SHALL BE PERMITTED ON THE GROUND FLOOR WHERE REQUIRED TO PROVIDE ACCESS TO THE BUILDING.

ZR 117-513 TRANSPARENCY REQUIREMENT

AT LEAST 50 PERCENT OF A BUILDING'S STREET WALL# SURFACE SHALL BE GLAZED AND TRANSPARENT AT THE GROUND FLOOR LEVEL. FOR THE PURPOSE OF THE GLAZING REQUIREMENTS, THE BUILDING'S STREET WALL# SURFACE AT THE GROUND FLOOR LEVEL SHALL BE MEASURED FROM THE FLOOR TO THE HEIGHT OF THE CEILING OR 14 FEET ABOVE GRADE, WHICHEVER IS LESS. THE LOWEST POINT AT ANY POINT OF ANY TRANSPARENCY THAT IS PROVIDED TO SATISFY THE REQUIREMENTS OF THIS SECTION SHALL NOT BE HIGHER THAN FOUR FEET ABOVE CURB LEVEL#. DOOR OR WINDOW OPENINGS WITHIN SUCH WALLS SHALL BE CONSIDERED AS TRANSPARENT. SUCH OPENINGS SHALL HAVE A MINIMUM WIDTH OF TWO FEET.

ZR 117-552 / 28-23 REFUSE STORAGE AND DISPOSAL

THE STORAGE OF REFUSE SHALL OCCUR ENTIRELY WITHIN AN ENCLOSED AREA ON THE #ZONING LOT# AND APPROPRIATE LOCATIONS WITHIN THE #ZONING LOT# SHALL BE DELINEATED FOR THIS PURPOSE. AT LEAST ONE FOR #RESIDENTIAL USES# AND AT LEAST ONE FOR #COMMUNITY FACILITY# AND #COMMERCIAL USES# #RESIDENTIAL# STORAGE AND REMOVAL LOCATIONS SHALL BE PROVIDED AT THE RATE OF 2.9 CUBIC FEET PER #DWELLING UNIT# OR 1.15 CUBIC FEET PER #ROOMING UNIT#.

A REFUSE DISPOSAL ROOM OF NOT LESS THAN TWELVE SQUARE FEET WITH NO DIMENSION LESS THAN THREE FEET SHALL BE PROVIDED ON EACH #STORY# THAT HAS ENTRANCES TO #DWELLING UNITS# OR #ROOMING UNITS#. TWELVE SQUARE FEET OF SUCH REFUSE STORAGE ROOM SHALL BE EXCLUDED FROM THE DEFINITION OF #FLOOR AREA#.

ZR 117-553 SIDEWALK WIDENING AND GROUND FLOOR USES

THE SIDEWALK WIDENING AND GROUND FLOOR USE# PROVISIONS OF THIS SECTION SHALL APPLY TO ALL #DEVELOPMENTS# OR #ENLARGEMENTS# WITH GROUND FLOOR #STREET WALLS# WITH A RATIO OF #FLOOR AREA# TO #LOT AREA# OF 3.0 OR MORE.

(A) SIDEWALK WIDENING ACCESSIBLE TO THE PUBLIC MUST BE PROVIDED IN THE LOCATIONS SPECIFIED ON MAP 3 (SIDEWALK WIDENING, STREET WALL LOCATION AND GROUND FLOOR USE) OF APPENDIX C OF THIS CHAPTER. SUCH MANDATORY SIDEWALK WIDENING IS SUBJECT TO THE DESIGN REQUIREMENTS OF SECTION 117-554.

ZR 117-54 PARKING AND LOADING

ZR SECTION	REQUIRED/ALLOWED	PROPOSED	REMARK
RESIDENTIAL	0	0	NO ACCESSORY OFF-STREET PARKING SPACES ARE REQUIRED FOR ANY DEVELOPMENT IN THE LONG ISLAND CITY SUBJECT AREA
COMMERCIAL	0	0	NO ACCESSORY OFF-STREET PARKING SPACES ARE REQUIRED FOR ANY DEVELOPMENT IN THE LONG ISLAND CITY SUBJECT AREA

ZR 25-81 REQUIRED BICYCLE PARKING SPACES

ZR SECTION	REQUIRED/ALLOWED	PROPOSED	REMARK
RESIDENTIAL	28	28	USE GROUP 2 (1 PER 2 DWELLING UNITS) 56 UNITS / 2 = 28 (28) SPACES REQUIRED
COMMERCIAL	2	2	USE GROUP 6A, C GENERAL RETAIL OR SERVICES (1 PER 10,000 SF) PROPOSED COMMERCIAL FA: (12,334.96 + 11,050) = 23,384.96 SF 23,384.96 / 10,000 = 2 SPACES REQUIRED.
TOTAL	30	30	

ZR 26-41 STREET TREE PLANTING

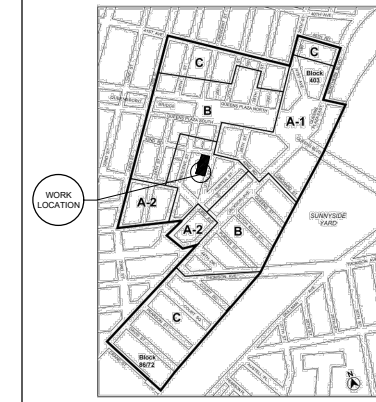
ZR SECTION	REQUIRED/ALLOWED	PROPOSED	REMARK
STREET TREES	10	10 (tree fund)	1 TREE PER 25'-0" OF STREET FRONTAGE OF THE ZONING LOT (139.62' x 100' = 239.62' / 25' = 10 TREES (10 tree fund)

ZR 28-00 QUALITY HOUSING PROGRAM

ZR SECTION	REQUIRED/ALLOWED	PROPOSED	REMARK
REFUSE STORAGE & DISPOSAL	1/FLOOR	1/FLOOR	ZR 28-12 1 REFUSE DISPOSAL ROOM FOR AT LEAST 9 D.U. PER FLOOR. MAX. 12 SF PER FLOOR EXCLUDED FROM THE FLOOR AREA
LAUNDRY FACILITIES	W.M. 1/20 D.U. (3)	6	ZR 28-13 3 WASHERS, 2 DRYER REQUIRED (IF PROVIDED) EVERY UNITS WITH ITS OWN WASHER AND DRYER. PUBLIC LAUNDRY ROOM LOCATED AT 2ND FLOOR WITH 6 WASHERS, 6 DRYERS.
DAYLIGHT IN CORRIDORS	N/A	N/A	ZR 28-14 100% OF CORRIDOR DEDUCTED ON CORRIDOR
REQUIRED RECREATION SPACE	3.3% OF FLOOR AREA	1,270.52 SF > 1,266.45 SF	ZR 28-21 38,371.44 x 3.3% = 1,266.26 S.F. (MAX. CAN BE EXCLUDED FROM NET AREA) 1,270.52 SF OF INDOOR RECREATION ROOM IS PROVIDED ON 2ND FLOOR. TOTAL = 1,270.52 SF > 1,266.26 SF O.K.
STANDARDS FOR RECREATION SPACE	225 SF MIN.	1,270.52 SF	ZR 28-22 PROPOSED RECREATION AREA = 1,270.52 S.F. > 1,266.26 S.F.....O.K.
DENSITY PER CORRIDOR	MAX. 11 D.U. / CORRIDOR IN R7 DISTRICT	7 D.U. / CORRIDOR (2nd FL.) 11 D.U. / CORRIDOR (3rd FL.) 10 D.U. / CORRIDOR (4th, 5th, 6th FL.) 8 D.U. / CORRIDOR (7th FL.)	ZR 28-31 50% OF CORRIDOR DEDUCTED FROM 2ND THROUGH 7TH FLOORS FOR LESS THAN 11 UNITS PER FLOOR. 100% OF DAYLIGHT CORRIDOR DEDUCTION ALLOWED

Appendix C Queens Plaza Subdistrict Plan Maps

(12/19/01)
 Map 1: Designated Districts within the Queens Plaza Subdistrict



ZD1 Zoning Diagram
 Must be typewritten.

Orient and affix B1S job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

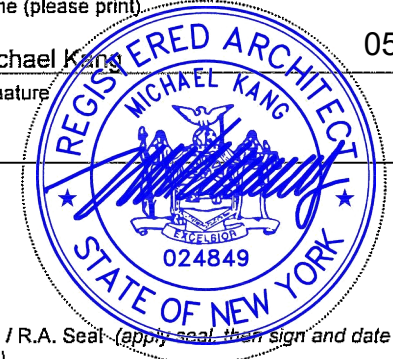
Location Information

House No(s) 42-38
 Street Name 27th STREET
 Borough QUEENS
 Block 430
 Lot 14, 15, 16, 18, 19
 BIN

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) Michael Kang 05-17-23

Signature *Michael Kang* Date

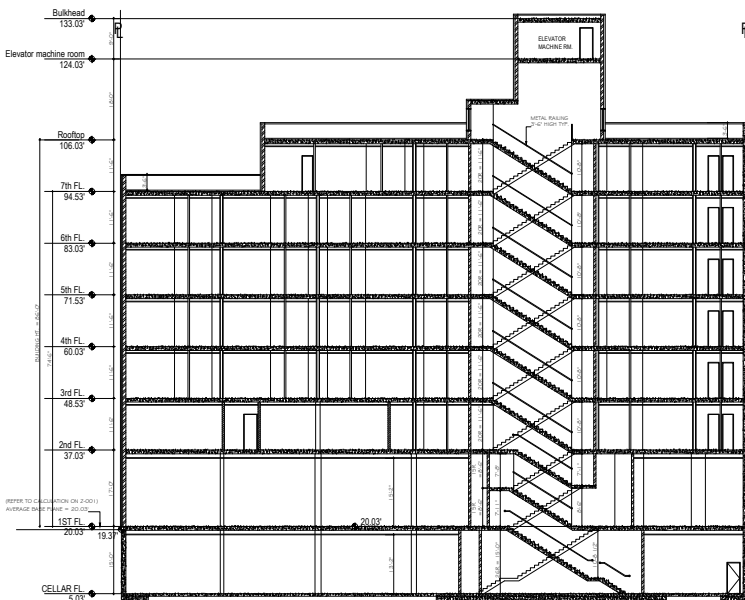


P.E. / R.A. Seal (apply seal, then sign and date over seal)

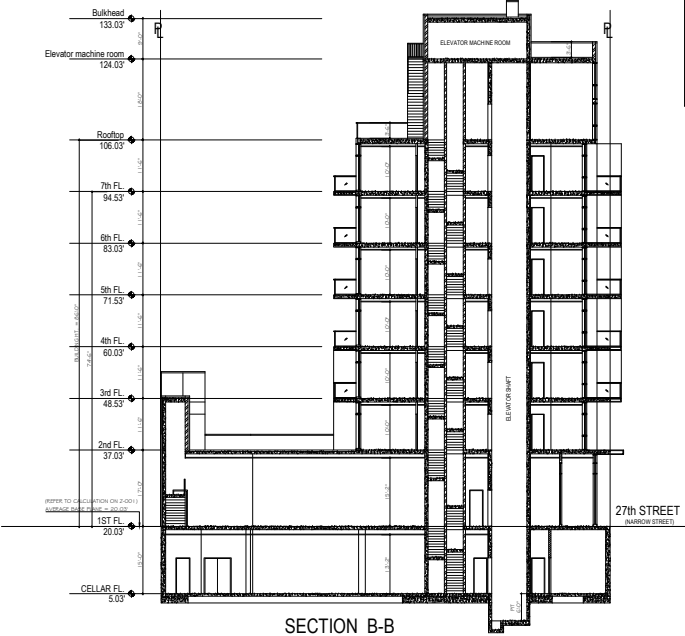
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PLAN EXAMINER SIGN AND DATE



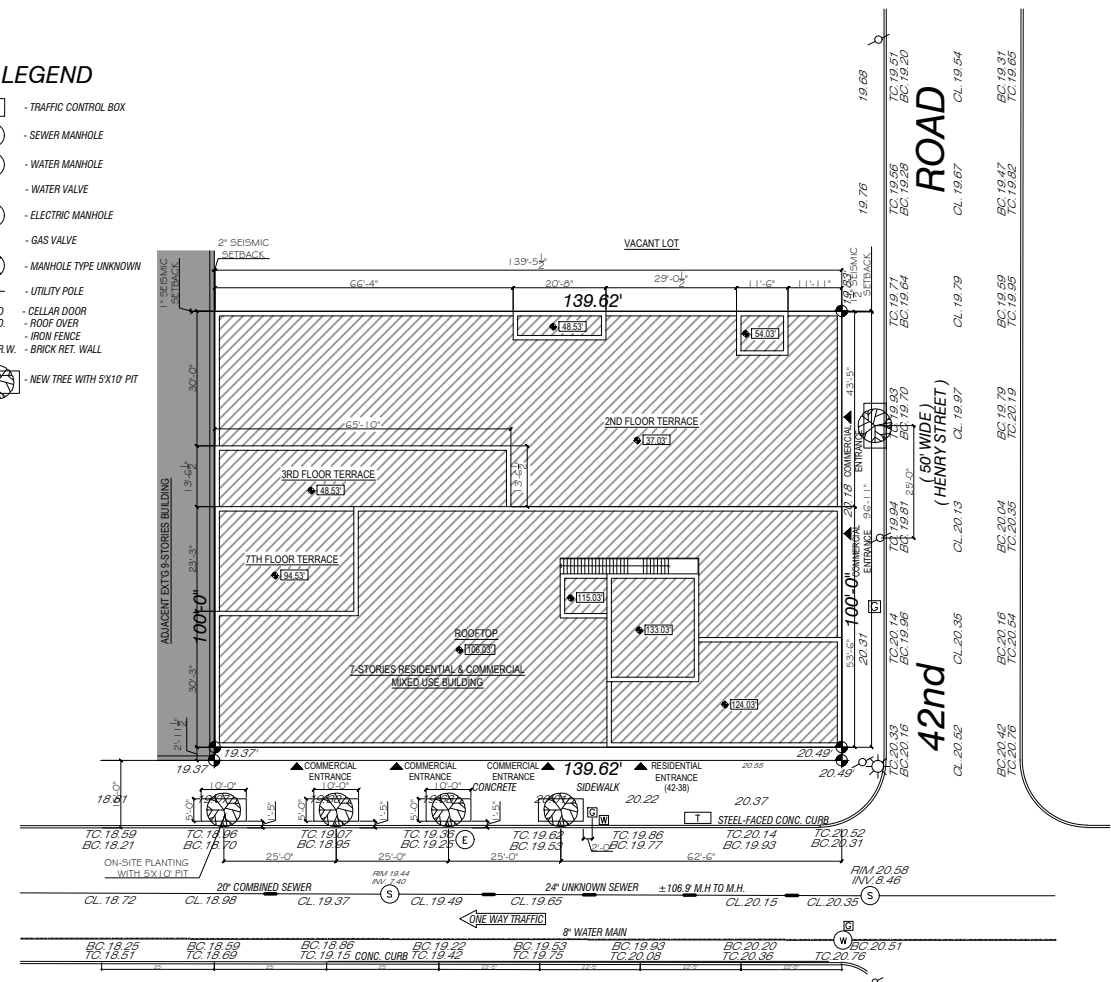
SECTION A-A



SECTION B-B

LEGEND

- T - TRAFFIC CONTROL BOX
- S - SEWER MANHOLE
- W - WATER MANHOLE
- V - WATER VALVE
- E - ELECTRIC MANHOLE
- G - GAS VALVE
- X - MANHOLE TYPE UNKNOWN
- - UTILITY POLE
- - CELLAR DOOR
- - ROOF OVER
- - IRON FENCE
- - BRICK RET. WALL
- - NEW TREE WITH 5X10 PIT



27th STREET (60' WIDE) (PROSPECT STREET)



LEGEND

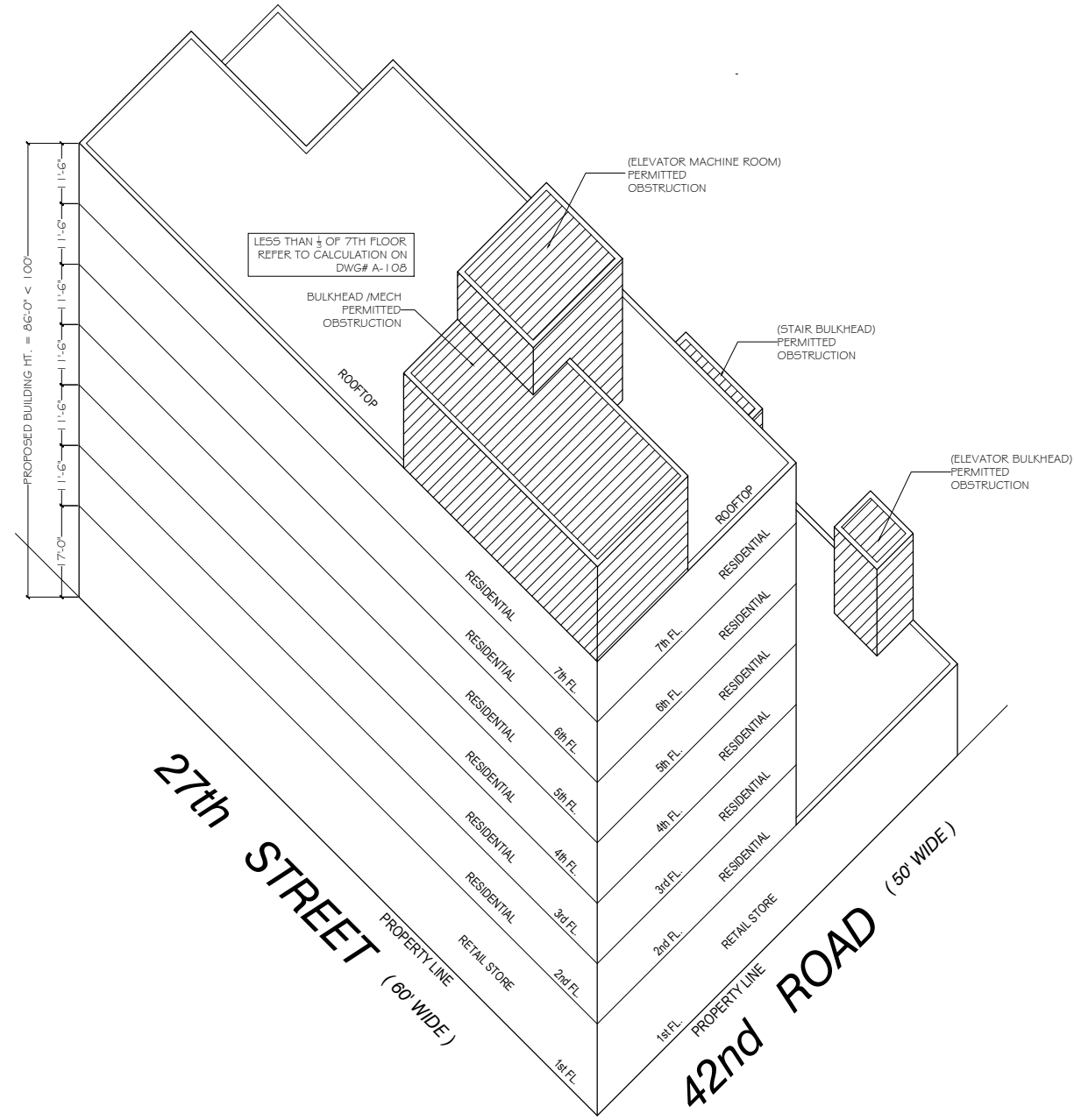
- PROPOSED BUILDING
- ZONING LOT LINE
- ▨ PERMITTED OBSTRUCTION
- MAXIMUM BUILDING ENVELOPE

FRONT SETBACK_ZR 117-525
NO FRONT YARD REQUIRED

SIDE YARD_ZR 117-525
NO SIDE YARD REQUIRED

REAR YARD_ZR 23-47
MIN. 30' REAR YARD REQ'D FOR RESIDENTIAL PORTION
PROPOSED REAR YARD = 30'

BUILDING HEIGHT
AS PER ZR 117-53



AXONOMETRIC DIAGRAM
NOT TO SCALE



ZD1 Zoning Diagram
Must be typewritten.

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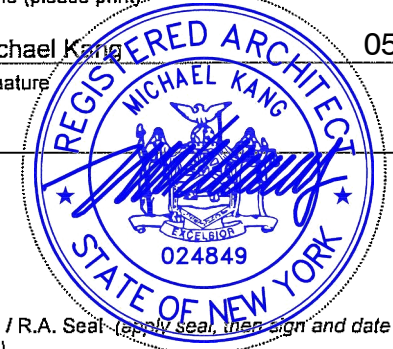
Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information	
House No(s)	42-38
Street Name	27th STREET
Borough	QUEENS
Block	430
Lot	14, 15, 16, 18, 19
BIN	

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Name (please print) **Michael Kang** 05-17-23
Signature _____ Date _____



P.E. / R.A. Seal (apply seal, then sign and date over seal)

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PLAN EXAMINER SIGN AND DATE _____

