

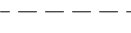


LEGEND

- TREE 
- PROPOSED BUILDING 
- MAX. ENVELOPE 



ZD1 Zoning Diagram
Must be typewritten

Orient and affix BIS job number label here

Submitted to resolve objection stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s) 406
Street Name REMSEN AVE
Borough BROOKLYN
Block 4663
Lot 4
BIN 3101627

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Name (please print) ASHER HERSHKOWITZ 2/18/21

Signature  Date

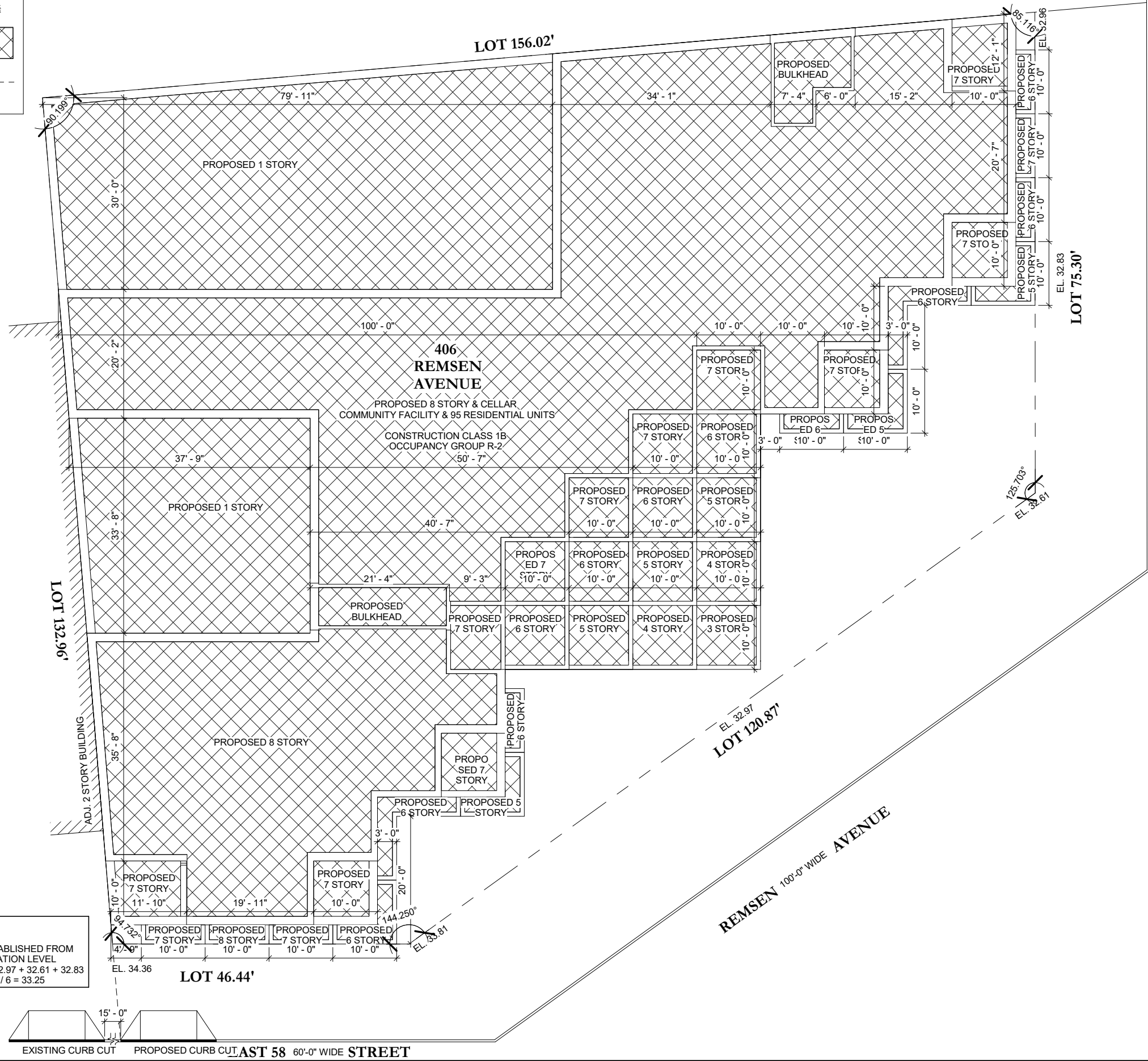


P.E./R.A. Seal (apply seal then sign and date over seal)

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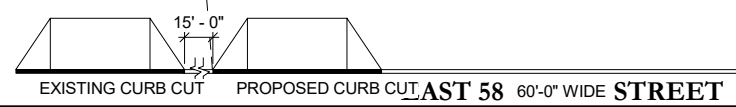
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PLAN EXAMINER SIGN AND DATE



BASE PLAN
BASE PLAN ESTABLISHED FROM AVERAGE ELEVATION LEVEL
 $34.36 + 33.81 + 32.97 + 32.61 + 32.83 + 32.96 = 199.54 / 6 = 33.25$

1 PLOT PLAN
1 : 205

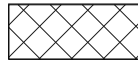


LEGEND

TREE



PROPOSED BUILDING



MAX. ENVELOPE



FOR QUALITY HOUSING RESIDENTIAL

FLOOR AREA RATIO: ZR: 23-153
 MAXIMUM FLOOR AREA RATIO = 3
 $17,456.04 \times 3 = 52,368.12$
 PROPOSED F.A.R. $46,990 < 52,368.12$
 ACTUAL F.A. $46,990 / 17,456.04 = 2.69 < 3$ - OK

LOT COVERAGE: ZR: 23-153
 MAXIMUM 65%
 $17,456.04 (\text{LOT AREA}) \times 65\% = 11346.42$ - OK
 ACTUAL L.C. $10814.34 / 17,456.04 \times 100 = 61.95\%$
 $< 65\%$ - OK

FRONT YARD: ZR: 23-45
 NO FRONT YARD REQUIRED
 PROPOSED FRONT YARD = 0'-0"

SIDE YARDS: ZR:23-461(C)
 0' OR 8' REQUIRED
 PROPOSED SIDE YARDS = 0' & 0'

REAR YARD: ZR: 23-47
 MINIMUM REQUIRED REAR YARD 30'
 PROPOSED REAR YARD = 30'-0"

MAXIMUM BUILDING HEIGHT: ZR: 23-664 (a) (4) / ZR: 35-65
 BUILDINGS WHERE AT LEAST 20 PERCENT OF THE FLOOR AREA CONTAINS AFFORDABLE INDEPENDENT RESIDENCES FOR SENIORS.
 $(\text{TOTAL FLOOR AREA } 49834.61 + 21774.68 = 71609.29$
 $71609.29 \times 20\% = 14321.85 < 21774.68$
 $\text{ACTUAL } 21774.68 / 71609.29 = 30.40\% > 20\%$
 MIN. BASE HEIGHT : 40'-0"
 MAX. BASE HEIGHT : 75'-0"
 MAX. BLDG. HEIGHT: 90'-0"
 PROPOSED BLDG. HEIGHT: 80' OK

FRONT SEATBACK ZR:23-622 (C) (1) (2)
 (1) HEIGHT NOT LOWER THAN THE MINIMUM BASE HEIGHT OR HIGHER THAN THE MAXIMUM BASE HEIGHT A SETBACK WITH A DEPTH OF AT LEAST 10 FEET SHALL BE PROVIDED ON A WIDE STREET.
 PROPOSED: 10'-0" SEATBACK IS PROVIDED

FOR SENIOR RESIDENTIAL

AS PER 12-10
 100 PERCENT OF THE DWELLING UNITS ALLOCATED TO AFFORDABLE INDEPENDENT RESIDENCES FOR SENIORS ARE EACH OCCUPIED BY AT LEAST ONE PERSON WHO IS 62 YEARS OF AGE OR OVER

FLOOR AREA RATIO: ZR: 23-155
 MAXIMUM FLOOR AREA RATIO = 3.9
 LOT AREA = 17,456.04 SQ. FT
 F.A.R.= $3.9 \times 17,456.04 = 68078.556$ s.f.
 ACTUAL F.A. $20,667.7 / 17,456.04 = 1.18 < 3.9$ - OK

LOT COVERAGE: ZR: 23-153
 MAXIMUM 65%
 $17,456.04 (\text{LOT AREA}) \times 65\% = 11346.42$ - OK
 ACTUAL L.C. $11346.42 / 17,456.04 \times 100 = 64.99\% < 65\%$ - OK

DENSITY: ZR: 23-22
 FOR AFFORDABLE INDEPENDENT RESIDENCES FOR SENIORS, THERE SHALL BE NO APPLICABLE DWELLING UNIT FACTOR.
 PROPOSED SENIORS UNITS = 28 - OK

OFF-STREET PARKING: ZR: 25-252
 WITHIN THE TRANSIT ZONE, NO ACCESSORY OFF-STREET PARKING ARE REQUIRED FOR DWELLING UNITS FOR SENIORS

MAXIMUM BICYCLE PARKING: ZR:25-811
 BICYCLE PARKING SPACES REQUIRED 1 PER 2 DWELLING UNITS
 PROPOSDE DWELLING UNITS $28 / 2 = 14$
 14 BICYCLE PARKING SPACES PROVIDED AT CELLAR

FOR RESIDENTIAL COMBINED

FLOOR AREA RATIO: ZR: 23-153 ZR: 23-155
 MAXIMUM FLOOR AREA RATIO = 3.9
 LOT AREA = 17,456.04 SQ. FT
 F.A.R.= $3.9 \times 17,456.04 = 68078.556$ s.f.
 ACTUAL F.A. $67657.7 / 17,456.04 = 3.87 < 3.9$ - OK

FOR COMMUNITY FACILITY

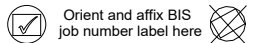
FLOOR AREA RATIO: ZR: 24-161 / 24-11
 FOR BUILDINGS CONTAINING RESIDENTIAL AND COMMUNITY FACILITY USES, WHERE SUCH BUILDINGS HAVE A RATIO OF FLOOR AREA I GREATER THAN SET FORTH IN COLUMN A (FOR R6 2.5) IN THE FOLLOWING TABLE, THE MAXIMUM SUCH RATIO FOR THE COMMUNITY FACILITY PORTIONS OF SUCH BUILDINGS SHALL BE AS SET FORTH IN COLUMN B (FOR R6 1.0) IN THE TABLE, AND THE MAXIMUM SUCH RATIO.
 TOTAL COMBINED FLOOR AREA IS 4.8 EXCEEDS 2.5 THEREFORE MAXIMUM PERMITTED FOR COMMUNITY FACILITY IS 1.0
 PROPOSED COMMUNITY FACILITY: 14455.75 S.F.
 ACTUAL F.A. $14455.75 / 17,456.04 = 0.82 < 1$ - OK

LOT COVERAGE: ZR: 24-11
 MAXIMUM 70%
 $17,456.04 (\text{LOT AREA}) \times 70\% = 12219.22$ - OK
 ACTUAL L.C. $11684.77 / 17,456.04 \times 100 = 66.93\%$
 $< 70\%$ - OK

PERMITTED OBSTRUCTION : ZR: 24-12
 MAXIMUM (1ST FLOOR)
 THE PORTION OF A BUILDING CONTAINING A COMMUNITY FACILITY USE LOCATED AT ANY HEIGHT UP TO BUT NOT EXCEEDING 23 FEET ABOVE BASE PLANE, SHALL NOT BE INCLUDED IN LOT COVERAGE.



ZD1 Zoning Diagram
Must be typewritten



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Yes No

Location Information

House No(s)	406
Street Name	REMSEN AVE
Borough	BROOKLYN
Block	4663
Lot	4
BIN	3101627

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Name (please print)

ASHER HERSHKOWITZ 2/18/21

Signature _____ Date _____



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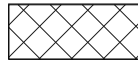
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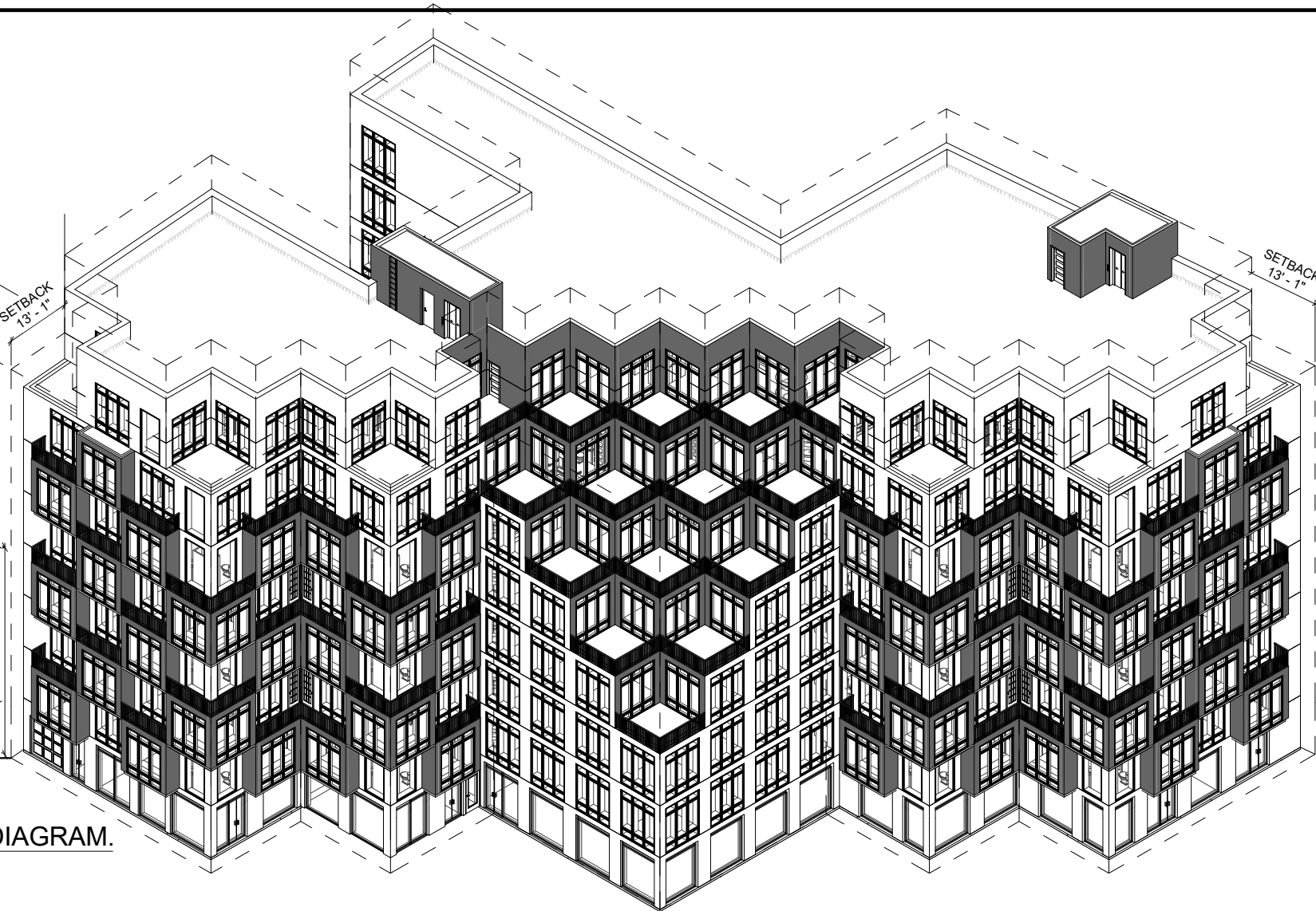
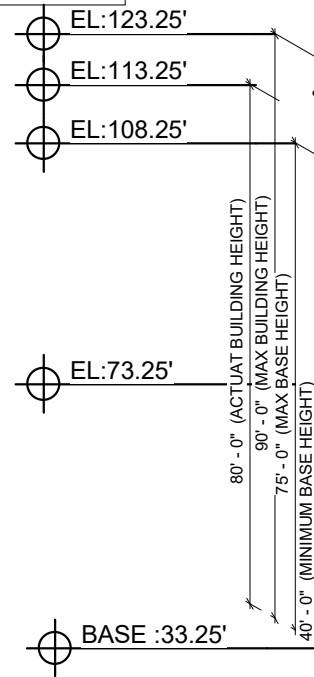
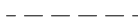
TREE



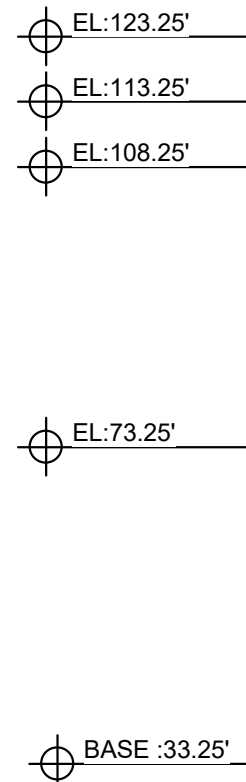
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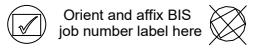
1 ISOMETRIC DIAGRAM.



2 ELEVATION. DIAGRAM



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