

ZD1 Zoning Diagram

Must be typewritten.

DEPT BLDGS Job No. 321413412



Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

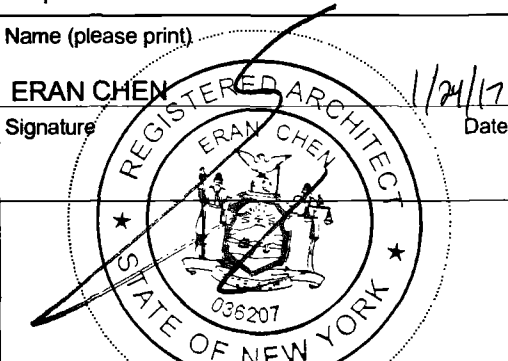
House No(s) 1548
 Street Name BEDFORD AVENUE
 Borough BROOKLYN
 Block 1266
 Lot 36
 BIN 3032880

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Name (please print)

ERAN CHEN

Signature



1/24/17
Date

P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc #

PLAN EXAMINER SIGN AND DATE

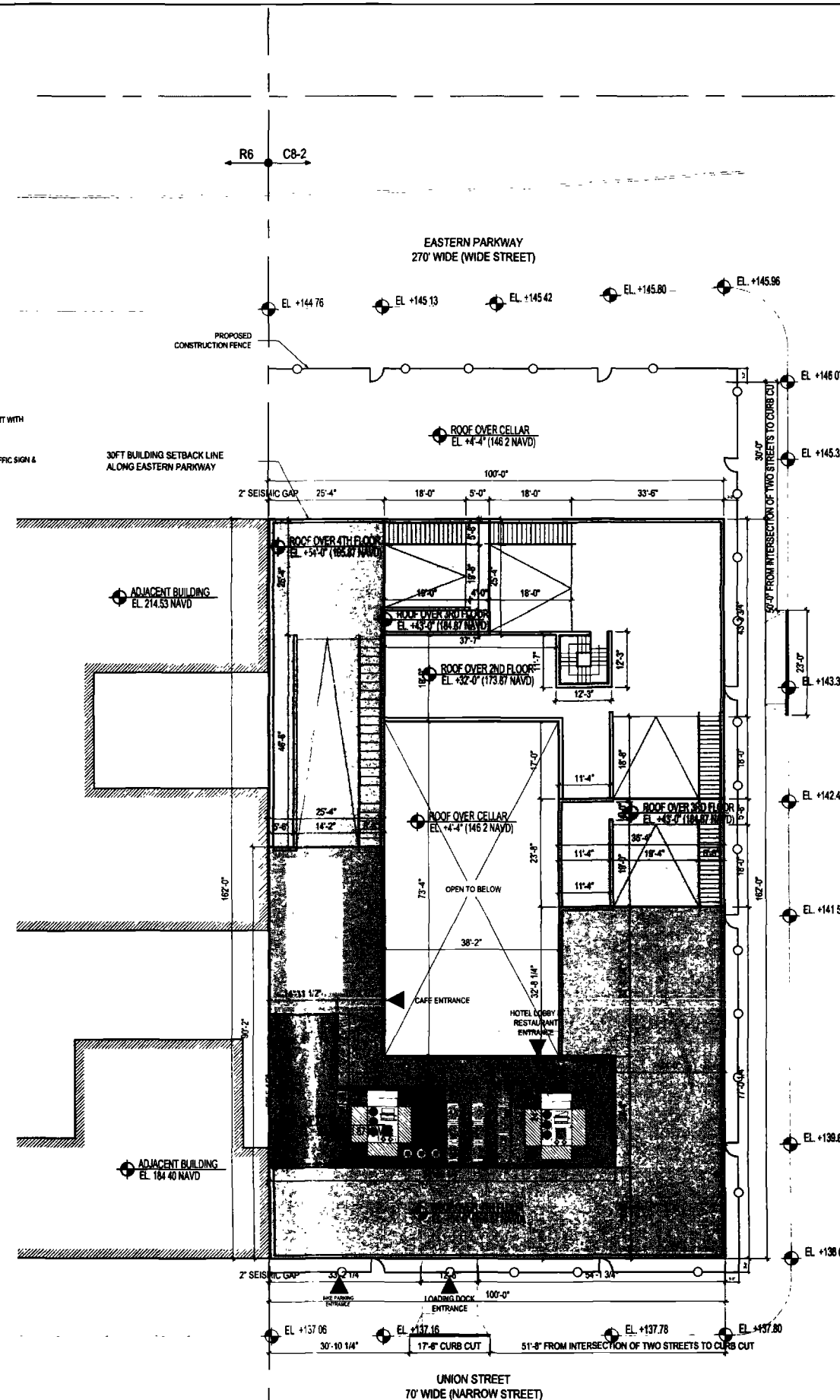
LEGEND

C8-2
COMMERCIAL DISTRICT

- PROPOSED BUILDING
- EXISTING BUILDING
- ZONING LOT LINE
- SKY EXPOSURE PLANE
- MAXIMUM BUILDING ENVELOPE
- PROPOSED TREE

LEGEND

- STREET TREE
- TRAFFIC SIGN
- SEWER MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- WATER VALVE
- GAS VALVE
- LIGHTPOLE
- LOW PRESSURE FIRE HYDRANT WITH GUARD POLES
- METAL STREET LIGHT W/ TRAFFIC SIGN & PEDESTRIAN SIGNAL
- MAILBOX



CURB LEVEL ELEVATION : Union St, Bedford Ave, Eastern Parkway						
Segment	Grade 1	Grade 2	Avg. Grade	Length	Percent	Weighted Grade
Union St (East to West)						
1	137.06	137.16	137.11	25	6.38%	8.74
2	137.16	137.78	137.47	50	12.76%	17.53
3	137.78	137.8	137.79	25	6.38%	8.79
Bedford Ave (South to North)						
9	138.63	139.6	139.115	25	6.38%	8.87
10	139.6	141.57	140.585	50	12.76%	17.93
11	141.57	142.48	142.025	25	6.38%	9.06
12	142.48	143.38	142.93	25	6.38%	9.12
13	143.38	145.32	144.35	50	12.76%	18.41
14	145.32	146.07	145.695	17	4.34%	6.32
Eastern Parkway (East to West)						
16	145.96	145.8	145.88	25	6.38%	9.30
17	145.8	145.42	145.61	25	6.38%	9.29
18	145.42	145.13	145.275	25	6.38%	9.26
19	145.13	144.76	144.945	25	6.38%	9.24
TOTAL				392	100%	141.87

2 AVERAGE CURB HEIGHT
SCALE: N/A

1 SITE PLAN
SCALE: 1/32" = 1'-0"

ben
7-25-15

1550 Bedford, BROOKLYN, NY
 BLOCK NUMBER 1266
 LOT NUMBER 36
 ZONING DISTRICTS C8-2
 COMMUNITY DISTRICT BROOKLYN CD 9
 ZONING MAP NUMBER 17B
 ZONING LOT AREA 19,200 SF
 HISTORIC DISTRICT NO
 ENVIRONMENTAL RESTRICTIONS N/A
 FLOOD ZONE NOT-DEFINED IN FLOOD MAP (FIRM 2007)

ZONING ANALYSIS

APPLICABLE SECTION	TITLE OF SECTION	ZONING REGULATION	REQUIRED/PERMITTED	PROVIDED/PROPOSED	COMPLIES
32-10 14	32-15 AS-OF-RIGHT		PERMITTED 4,5,6,7,8,9,10,11,12,13,14,16	UG 5 TRANSIENT OCCUPANCY A TRANSIENT HOTEL B ACCESSORY USES (RESTAURANTS, COCKTAIL LOUNGES, PUBLIC BANQUET HALLS, BALLROOMS AND MEETING ROOMS) UG 6 RETAIL STORES C RETAIL OR SERVICE ESTABLISHMENTS (EATING OR DRINKING ESTABLISHMENT WITH THE CAPACITY LESS THAN 200 PERSONS) F ACCESSORY USES	COMPLIES
33-122	MAXIMUM FLOOR AREA RATIO	Max FAR containing only Commercial Uses 2.0	LOT AREA 19,200 MAX PERMITTED FAR 2.0 MAX PERMITTED FLOOR AREA (SF) 38,400	FLOOR AREA PROVIDED 38,356.36 SF FAR PROVIDED 2.0 SEE PROPOSED AREA CALC 2/2-100	COMPLIES
33-20 33-22	LEVEL OF YARDS	LEVEL OF YARDS SHALL NOT BE HIGHER THAN CURB LEVEL BUT NATURAL GRADE LEVEL NEED NOT BE DISTURBED IN ORDER TO COMPLY WITH THIS REQUIREMENT		N/A (NO YARD PROVIDED)	COMPLIES
33-25	SIDE YARD	NONE REQUIRED		NOT PROVIDED SEE SITE PLAN Z-101	COMPLIES
33-301	REAR YARD	NONE REQUIRED WITHIN 100 FT OF THE POINT OF INTERSECTION OF TWO STREET LINES		NOT PROVIDED SEE SITE SURVEY, DRAWING 1/G-010 00	COMPLIES
ADMINISTRATIVE CODE § 18-112	RESTRICTIONS ON EASTERN PARKWAY	BUILDINGS LOCATED ALONG EASTERN PARKWAY SHALL BE SETBACK 30 FEET FROM THE PROPERTY LINE FACING THE STREET THE INTERVENING SPACES OF LAND ON EASTERN PARKWAY SHALL BE USED ONLY FOR COURT-YARDS, AND MAY BE PLANTED WITH TREES AND SHRUBBERY		30-FOOT SETBACK ALONG EASTERN PARKWAY IS PROVIDED SEE SITE PLAN, Z-101 00	COMPLIES
33-432 33-43	MAXIMUM HEIGHT OF FRONT WALL	IF FRONT WALL OR ANY PORTIONS OF THE BUILDING IS LOCATED AT THE STREET LINE OR WITHIN THE INITIAL SETBACK DISTANCE, THE HEIGHT OF SUCH FRONT WALL OR OTHER PORTION OF A BUILDING SHALL NOT EXCEED THE MAXIMUM HEIGHT ABOVE CURB LEVEL	INITIAL SETBACK DISTANCE 1 NARROW STREET 20 FT 2 WIDE STREET 15 FT MAXIMUM HEIGHT OF FRONT WALL 60 FT OR 4 STORIES WHICHEVER IS LESS	PROVIDED INITIAL SETBACK DISTANCE 1 UNION STREET (NARROW STREET) 20 FT 2 BEDFORD AVENUE (WIDE STREET) 15 FT 3 EASTERN PARKWAY (WIDE STREET) 15 FT MAXIMUM HEIGHT OF FRONT WALL UNION STREET/BEDFORD AVENUE 4 STORIES (57'-6" x 60'-0") SEE SECTIONS 1/2-102	COMPLIES
33-432(a) 33-43	REQUIRED SETBACK	ABOVE MAXIMUM HEIGHT OF FRONT WALL AND BEYOND INITIAL SETBACK DISTANCE, THE BUILDING SHALL NOT PENETRATE SKY EXPOSURE PLANE	HEIGHT ABOVE STREET LINE 60 FEET SKY EXPOSURE PLANE SLOPE RATIO OF VERTICAL TO HORIZONTAL 1. NARROW STREET 2.7 TO 1 2. WIDE STREET 5.8 TO 1	ANY PORTION OF THE BUILDING BEYOND INITIAL SETBACK DOES NOT PENETRATE SKY EXPOSURE PLANE SEE SECTION 1/2-102, 2/2-102 & 3/2-102	COMPLIES
33-03(a) 28-41	STREET TREE PLANTING	ALL DEVELOPMENTS SHALL PROVIDE STREET TREES IN ACCORDANCE WITH ZR 28-41 ONE TREE PER 25 FT OF STREET FRONTAGE OF THE ZONING LOT, PLANTED AT APPROXIMATELY EQUAL INTERVALS ALONG ENTIRE LENGTH OF THE CURB OF THE STREET ADJACENT TO THE ZONING LOT NYC DEPARTMENT OF PARKS AND RECREATION NO TREES SHALL BE PLANTED IN FRONT OF BUILDING ENTRANCES, WITHIN 25 FT OF A STREET LIGHT, WITHIN 6 FT OF A TRAFFIC SIGN (NOT A STOP SIGN), WITHIN 40 FT OF A STREET INTERSECTION OR WITHIN A BUS STOP CON EDISON NO TREES PERMITTED BETWEEN TRANSFORMER VAULTS OR BUS COMPARTMENTS AND CURB.	STREET FRONTAGE OF ZONING LOT EASTERN PARKWAY 100'-0" BEDFORD AVENUE 192'-0" UNION STREET 100'-0" TOTAL 392'-0" REQUIRED STREET TREES 392/25= 16 TREES	PROVIDED STREET TREES ON SITE 0 OFF SITE 16 TOTAL 16 TREES SEE SITE PLAN DRAWING Z-101	COMPLIES

1 ZONING ANALYSIS
 SCALE: 1/32" = 1'-0"



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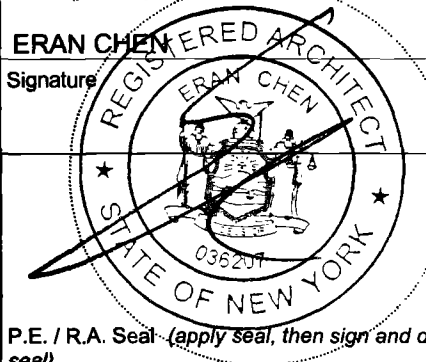
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PLAN EXAMINER SIGN AND DATE

36-20 36-21 36-22	ACCESSORY OFF-STREET PARKING	PARKING REQUIREMENTS FOR EACH TYPE OF USE SHALL APPLY TO THE EXTENT OF THAT USE GENERAL RETAIL (UG 6C (PRC-B)) 1 PER 400 SF OF FLOOR AREA HOTEL: A FLOOR AREA OF SLEEPING ACCOMMODATIONS 1 PER 12 GUEST ROOMS OR SUITES B FLOOR AREA OF ASSEMBLY ACCESSORY USE FOR THE HOTEL 1 PER 12 PERSONS-RATED CAPACITY	RETAIL (UG 6) 6,177 SF / 400 SF PER SPACE = 15 SPACES REQUIRED HOTEL (UG 5) 100 ROOMS / 12 ROOMS PER SPACE = 8 SPACES REQUIRED BANQUET HALL (UG5) BELOW GRADE = NONE TOTAL PARKING SPACES REQUIRED PER CALCULATIONS = 15+8= 23 SPACES REQUIRED	NONE PROVIDED - SEE NEXT SECTION	COMPLIES
36-231	WAIVER OF PARKING REQUIREMENTS FOR SPACES BELOW MINIMUM NUMBER	THE PARKING REQUIREMENT SHALL NOT APPLY TO COMMERCIAL USE IN PRC BOR H IF THE TOTAL NUMBER OF ACCESSORY OFF STREET PARKING REQUIRED FOR ALL USES ON THE ZONING LOT IS LESS THAN 25	REQUIRED NO OF PARKING 23	PARKING REQUIREMENT WAIVED - NONE PROVIDED	COMPLIES
36-62	ACCESSORY OFF-STREET LOADING BERTHS	REQUIREMENTS FOR DEVELOPMENTS HOTEL FIRST 25,000 SF - NONE REQ'D NEXT 75,000 SF - 1 REQ'D COMMERCIAL USES (UG 6C) FIRST 8,000 SF - NONE REQ'D	HOTEL TOTAL AREA 32,179 SF 32,179 SF > 25,000 SF 32,179- 25,000 = 7,179 < 75,000 SF - 1 REQ'D BERTH COMMERCIAL TOTAL AREA 6,177 SF 6,177 SF < 8,000 SF - 0 REQ'D BERTH TOTAL 1 BERTHS REQ'D	1 LOADING BERTHS PROVIDED SEE 1ST FLOOR CONSTRUCTION PLAN A-101	COMPLIES
36-681	SIZE OF REQUIRED LOADING BERTHS	HOTEL LENGTH 33' WIDTH 12' VERTICAL CLEARANCE 12' COMMERCIAL USES LENGTH 33' WIDTH 12' VERTICAL CLEARANCE 14'		SEE 1ST FLOOR CONSTRUCTION PLAN A-101	COMPLIES
36-682 36-59(c)	LOCATION OF ACCESS TO THE STREET	NO PERMITTED OR REQUIRED ACCESSORY OFF-STREET LOADING BERTH AND NO ENTRANCE OR EXIT THERETO SHALL BE LOCATED LESS THAN 50 FEET FROM THE INTERSECTION OF ANY 2 STREET LINES		SEE SITE PLAN DRAWING Z-101	COMPLIES
36-683	RESTRICTIONS ON LOCATION OF BERTHS NEAR RESIDENCE DISTRICTS	WHERE ACCESSORY OFF-STREET LOADING BERTHS ARE LOCATED WITHIN 60 FEET OF A RESIDENCE DISTRICT BOUNDARY, SUCH BERTHS SHALL BE ENCLOSED WITHIN A BUILDING AND NO ENTRANCE TO OR EXIT FROM THE BERTHS ON TO THE STREET SHALL BE LESS THAN 30 FEET FROM THE DISTRICT BOUNDARY		PERPENDICULAR DISTANCE FROM DISTRICT BOUNDARY (R6) TO LOADING BERTH ENTRY = 38'-0" > 30'-0" BERTHS ENCLOSED WITHIN BUILDING	COMPLIES
36-684	SURFACING	ALL PERMITTED OR REQUIRED OPEN ACCESSORY OFF-STREET LOADING BERTHS SHALL BE SURFACED WITH ASPHALTIC OR PORTLAND CEMENT CONCRETE OR OTHER HARD-SURFACED DUSTLESS MATERIAL, AT LEAST 6 INCHES THICK		NO OPEN PARKING PROVIDED	COMPLIES
36-685	SCREENING	ALL PERMITTED OR REQUIRED OPEN ACCESSORY OFF-STREET LOADING BERTHS WHICH ARE LOCATED ON ZONING LOTS ADJACENT TO THE BOUNDARY OF A RESIDENCE DISTRICT SHALL BE SCREENED FROM ALL ADJOINING ZONING LOTS IN RESIDENCE DISTRICTS, INCLUDING ZONING LOTS SITUATED ACROSS A STREET		NO OPEN PARKING PROVIDED	COMPLIES
36-58 36-682	LOT MANEUVERABILITY AND CURB CUT	CURB CUTS SERVING ONE LANE SHALL HAVE A MAXIMUM WIDTH OF 12 FEET, EXCLUDING SPLAYS, AND CURB CUTS SERVING TWO TRAVEL LANES SHALL HAVE A MAXIMUM WIDTH OF 24 FEET, EXCLUDING SPLAYS, SHALL BE PERMITTED NO PERMITTED OR REQUIRED ACCESSORY OFF-STREET LOADING BERTH, AND NO ENTRANCE OR EXIT THERETO, SHALL BE LOCATED LESS THAN 50 FEET FROM THE INTERSECTION OF ANY TWO STREET LINES		LOADING BERTH CURB CUT = 12 FEET HOTEL DROPOFF CURB CUT = 24 FEET SEE Z-101	COMPLIES
36-70 36-711 36-33	ENCLOSED BICYCLE PARKING	1 PER 10,000 SF (UG 5, 6)	HOTEL (UG 5)=32,179 SF / 10,000 SF = 4 SPACES COMMERCIAL (UG 6)= 6,177 SF / 10,000 SF = 1 SPACE BANQUET HALL (UG 5) BELOW GRADE = 0 SPACE TOTAL BIKE PARKING SPACES REQUIRED PER CALCULATIONS = 4+1= 5 SPACES REQUIRED	5 BICYCLE PARKING SPACES PROVIDED IN GROUND FLOOR SEE 1ST FLOOR CONSTRUCTION PLAN A-105	COMPLIES

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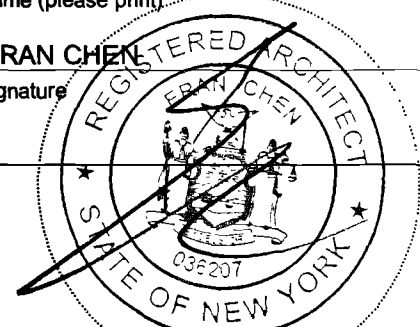
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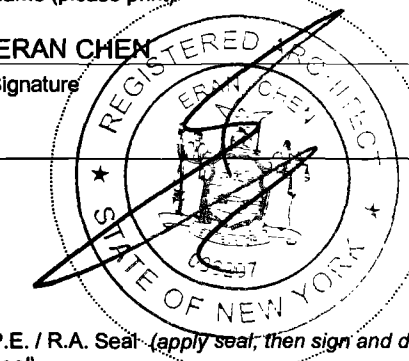
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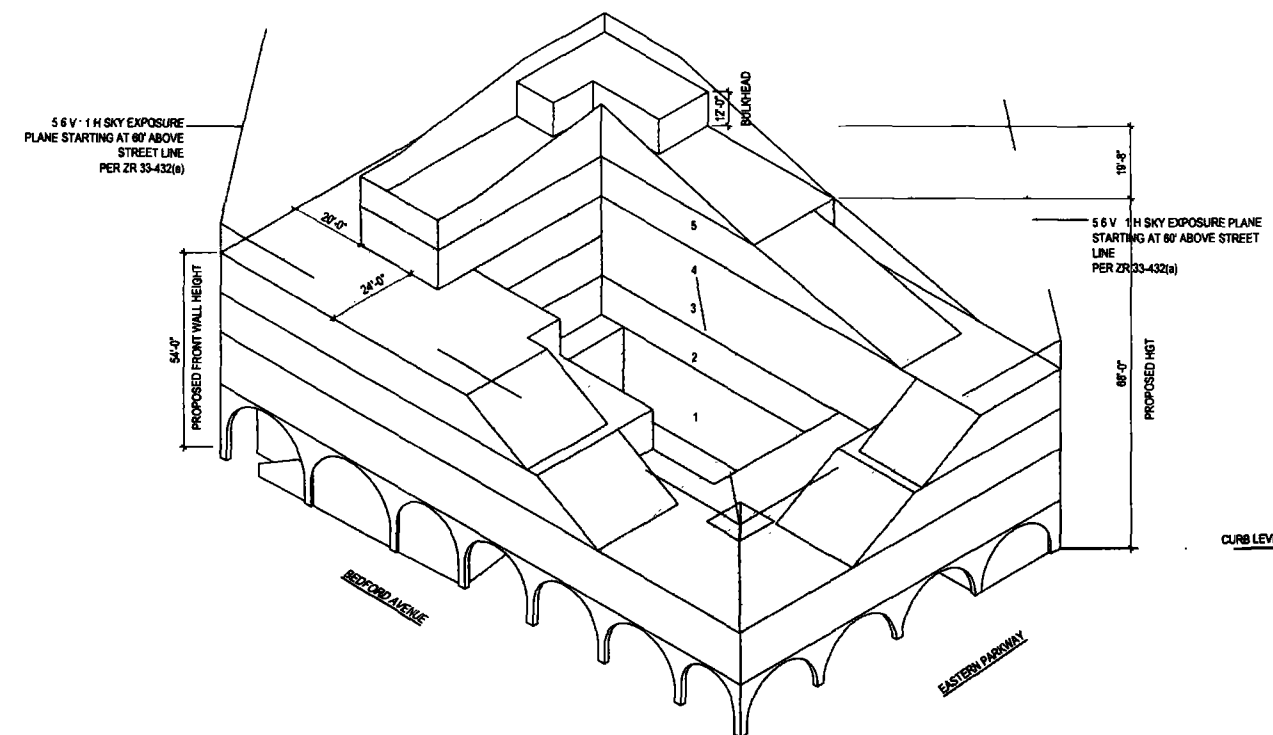
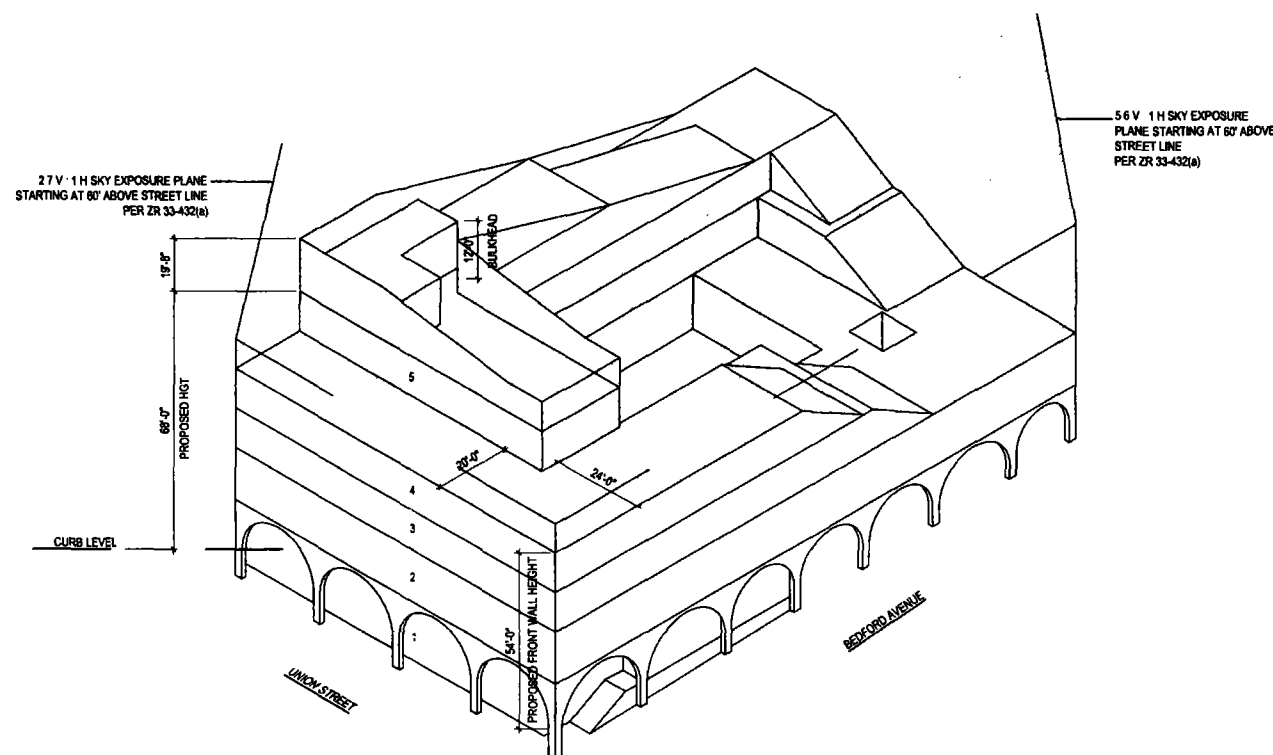
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LEGEND
C8-2
COMMERCIAL DISTRICT

- PROPOSED BUILDING
- EXISTING BUILDING
- ZONING LOT LINE
- SKY EXPOSURE PLANE
- MAXIMUM BUILDING ENVELOPE
- PROPOSED TREE



1 AXONOMETRIC DIAGRAM
SCALE: N/A

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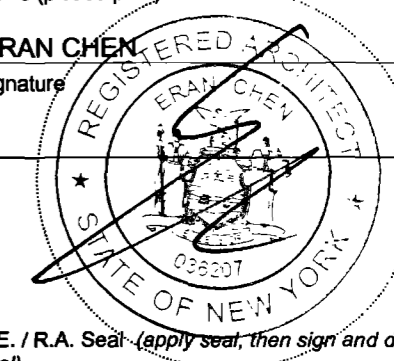
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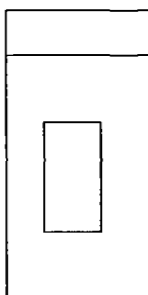
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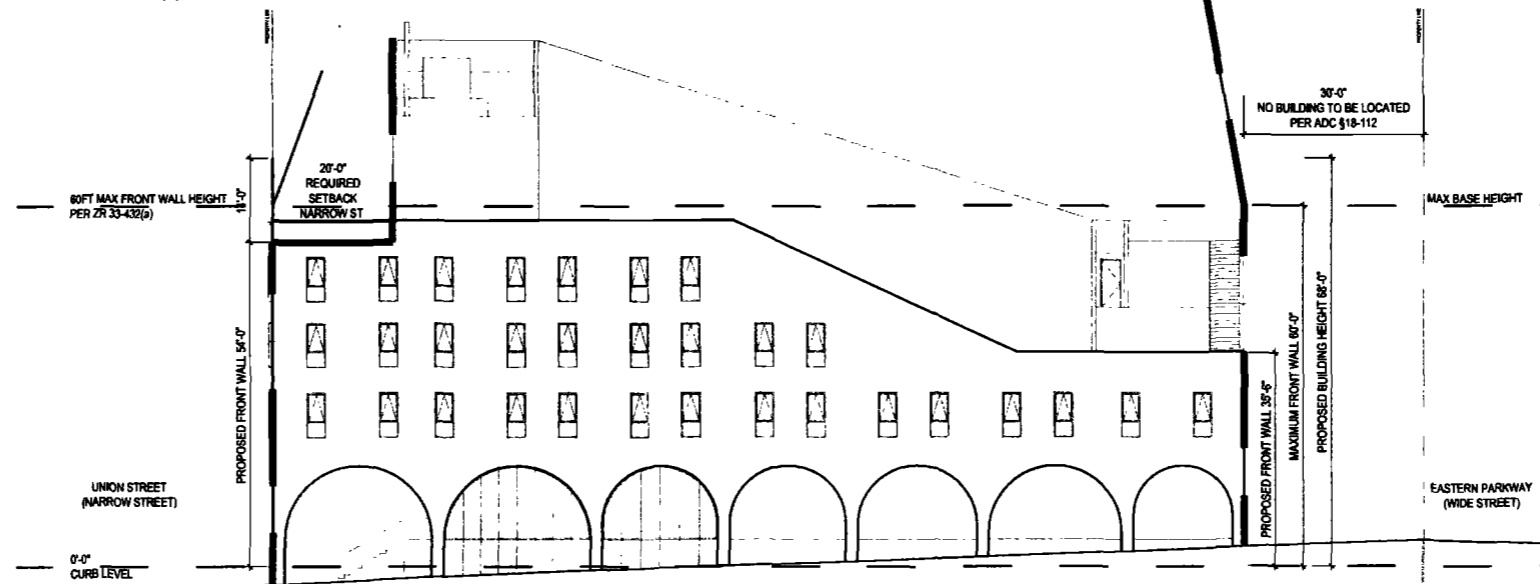
2.7 V : 1 H SKY EXPOSURE PLANE STARTING AT 60' ABOVE STREET LINE PER ZR 33-432(a)

5.6 V : 1 H SKY EXPOSURE PLANE STARTING AT 60' STREET LINE PER ZR 33-432(a)

EASTERN PARKWAY (WIDE STREET)



UNION STREET (NARROW STREET)



3 BULK DIAGRAM
SCALE: 1/32" = 1'-0"

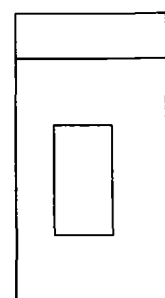
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60FT MAX FRONT WALL HEIGHT PER ZR 33-432(a)

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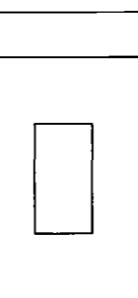
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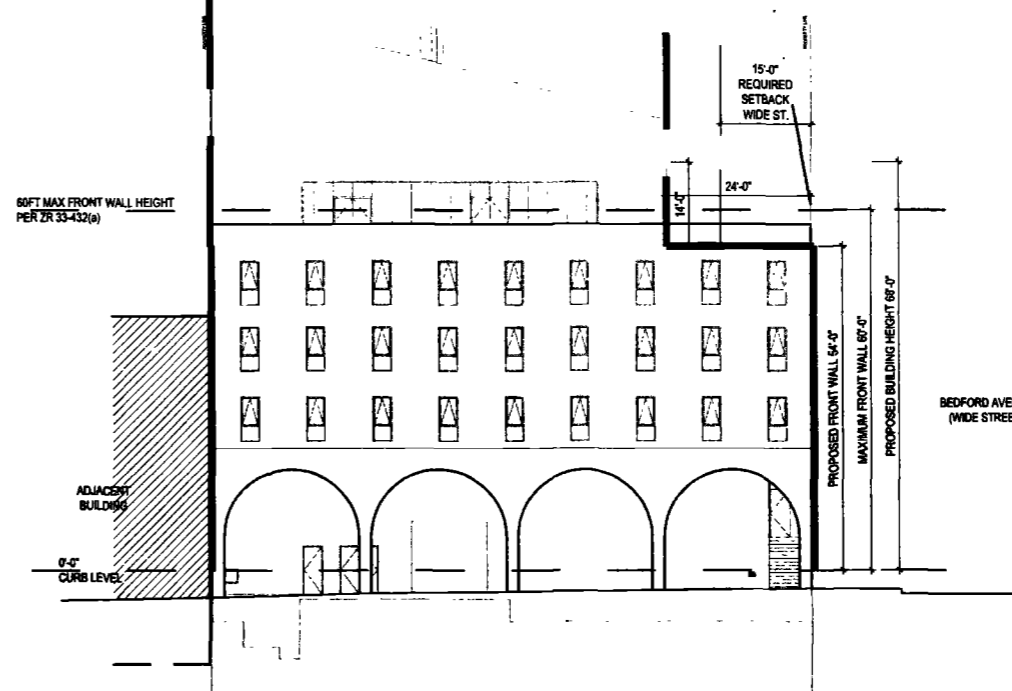
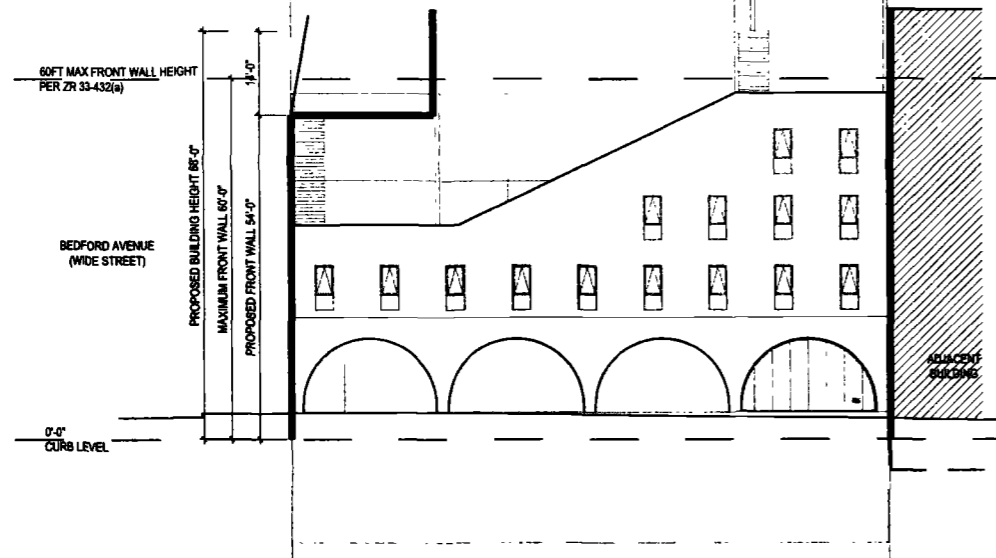
UNION STREET (NARROW STREET)

BEDFORD AVENUE (WIDE STREET)

EASTERN PARKWAY (WIDE STREET)



UNION STREET (NARROW STREET)



2 BULK DIAGRAM
SCALE: 1/32" = 1'-0"

1 BULK DIAGRAM
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