



ZD1 Zoning Diagram

Must be typewritten

NEW BUILDING

Orient and affix BIS

Submitted to resolve objection stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes  No

Location Information

House No(s)	39-07
Street Name	61 STREET
Borough	QUEENS
Block	1231
Lot	23
BIN	4028368

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NAME (PLEASE PRINT)

XIUCHENG LI

SIGNATURE



DATE

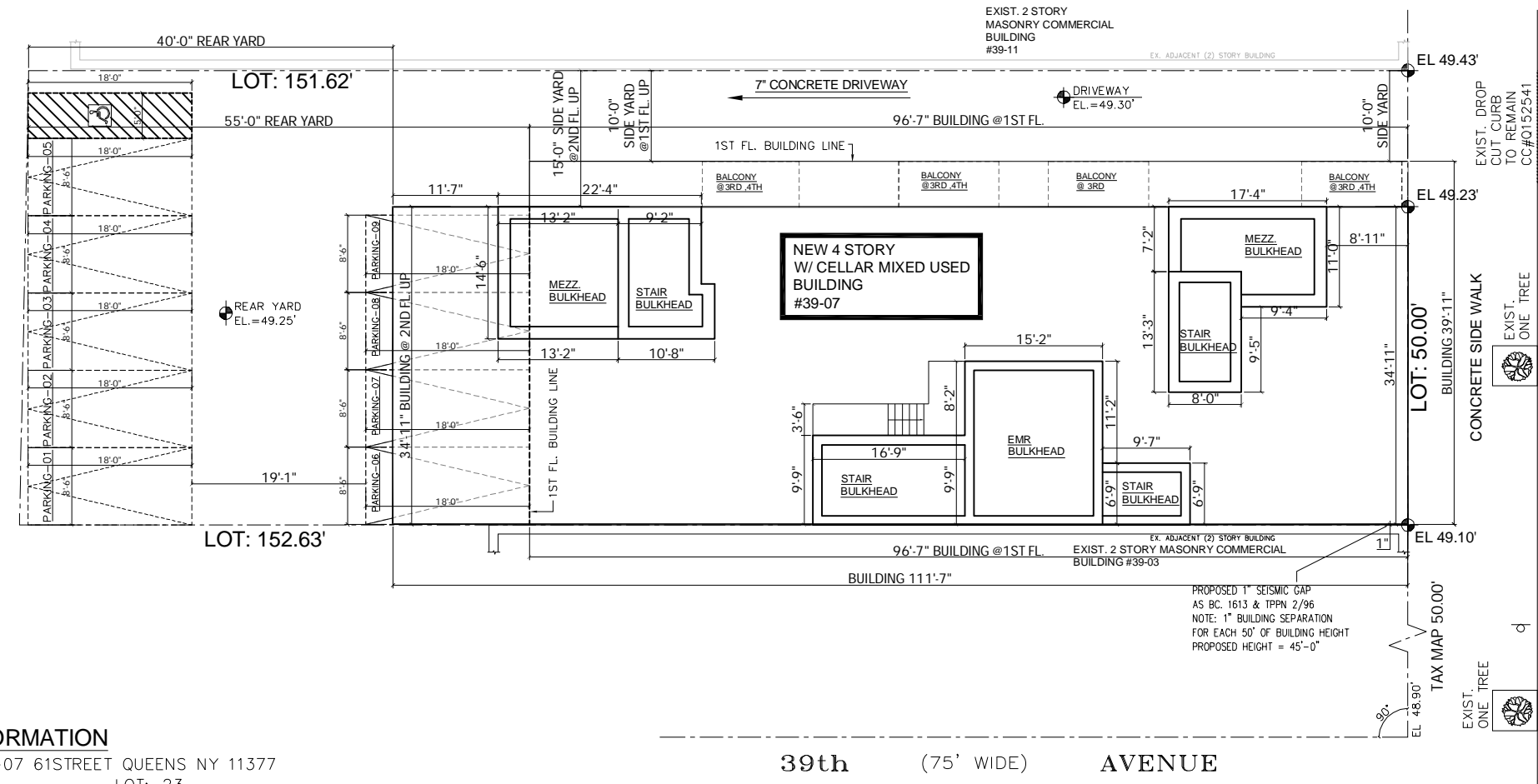
10-10-23

P.E./R.A. SEAL (APPLY SEAL; SIGN AND DATE OVER SEAL)

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DOB NOW# Q00945683-11

PLAN EXAMINERS SIGN AND DATE



PROJECT INFORMATION

JOB ADDRESS: 39-07 61STREET QUEENS NY 11377  
 BLOCK: 1231 LOT: 23  
 ZONING: R5D & C1-4 MAP: 9D  
 LOT AREA: 50' x 151.62' = 7,606.25 S.F. (SEE CALCULATION ON Z003)  
 (ZR23-011) QUALITY HOUSING REGULATIONS TO BE USE FOR THIS APPLICATION

(1) FLOOR AREA REGULATIONS

- (a) FOR RESIDENTIAL USE (ZR 23-142) (ZR35-31)  
 MAX. ALLOWABLE RES. F.A.R.: 2.0  
 MAX. ALLOWABLE FLOOR AREA: 2.0 x 7,606.26 = 15,212.5 S.F.
- (b) FOR COMMERCIAL USE (ZR 33-121) (ZR35-31)  
 MAX. ALLOWABLE COMMERCIAL F.A.R.: 2.0  
 MAX. ALLOWABLE FLOOR AREA: 2.0 x 7,606.26 = 15,212.5 S.F.
- (c) MAX ALLOWABLE F.A.R. (ZR35-31)  
 MAX. ALLOWABLE F.A.R.: 2.0  
 MAX. ALLOWABLE FLOOR AREA: 2.0 x 7,606.26 = 15,212.5 S.F.

(2) LOT COVERAGE REGULATIONS

- (a). FOR COMMERCIAL: N/A
- (b). FOR RESIDENTIAL USE (ZR 23-142) (ZR35-32(b))  
 MAX. LOT COVERAGE RATIO FOR INTERIOR LOT : 60%  
 PROPOSED PORTION OF RESIDENTIAL AREA: (AT 2nd FLOOR): 3,896.12 S.F.  
 (SEE FLOOR DIAGRAM, DRAWING Z-004)  
 3,896.12 S.F. / 7,606.26 S.F. x 100% = 51.22% < 60% ..... (OK!)

(3) OPEN SPACE REGULATIONS

- (a). FOR COMMERCIAL: N/A
- (b). FOR RESIDENTIAL USE (ZR 23-142) (ZR35-32(a))  
 THE FLOOR AREA COUNTED IN DETERMINING THE OPEN SPACE RATIO SHALL BE ONLY THAT FLOOR AREA IN THE RESIDENTIAL PORTION OF THE BUILDING;  
 MIN. OPEN SPACE RATIO FOR INTERIOR LOT : 40%  
 PROPOSED PORTION OF RESIDENTIAL AREA: (AT 2nd FLOOR): 3,896.12 S.F.  
 (7,606.25-3,896.12 S.F.) / 7,606.26 S.F. x 100% = 48.78% > 40% ..... (OK!)

(5) YARD REGULATIONS

- (a) FOR COMMERCIAL  
 FRONT YARD (ZR 35-51)  
 REQUIRED : NONE  
 PROVIDED : NONE  
 SIDE YARD (ZR 35-52)  
 REQUIRED : NONE  
 PROVIDED @ 1st floor: 10'-0"  
 REAR YARD (ZR 33-26 & ZR 35-53)  
 REQUIRED : 20'-0"  
 PROVIDED : 55'-0"
- (b) FOR RESIDENTIAL  
 FRONT YARD (ZR 35-51) (ZR 34-231)  
 REQUIRED : NONE  
 PROVIDED : 0'-0"  
 SIDE YARD (ZR 35-52)  
 REQUIRED : NONE OR 8'  
 PROVIDED @ 2nd FLOOR : 15'-0"  
 REAR YARD (ZR 35-53 & ZR 23-47)  
 REQUIRED : 30'  
 PROVIDED @ 2nd FL : 40'-0"

(6) HEIGHT & SETBACK REGULATIONS

"QUALIFYING GROUND FLOOR"  
 PROPOSED GROUND FLOOR, THE LEVEL OF THE FINISHED FLOOR OF THE SECOND STORY IS 13 FEET, QUALIFIED FOR QUALIFYING GROUND FLOOR REQUIREMENT..... OK! (SEE DIAGRAM SECTION ON Z003).  
 HEIGHT PERMITTED FOR QUALIFYING GROUND FLOOR (ZR23-631(f) :  
 MAX. BUILDING HEIGHT: 45'-0"  
 PROPOSED BUILDING HEIGHT: 45'-0" ≤ 45'-0" ..... (OK!)  
 (SEE DIAGRAMMATIC SECTION ON Z-003)

(7) STREET TREE REGULATIONS

(ZR 23-03)(ZR 33-03)  
 DEVELOPMENTS OR ENLARGEMENTS THAT INCREASE THE FLOOR AREA ON A ZONING LOT BY 20%.  
 REQUIRED: ON TREE PER 25' OF STREET FRONTAGE  
 50' / 25' = 2 = 2 TREE  
 PROVIDED: 1 EXISTING TREES ON THE SIDEWALK,  
 1 NEW OFF-SITE TREE FUND PAYMENT WILL BE PAID TO NYC DEPARTMENT OF PARKS & RECREATION TO PLANT. THE EXACT LOCATION & TYPE OF TREE WOULD BE DETERMINED BY PARK DEPARTMENT.



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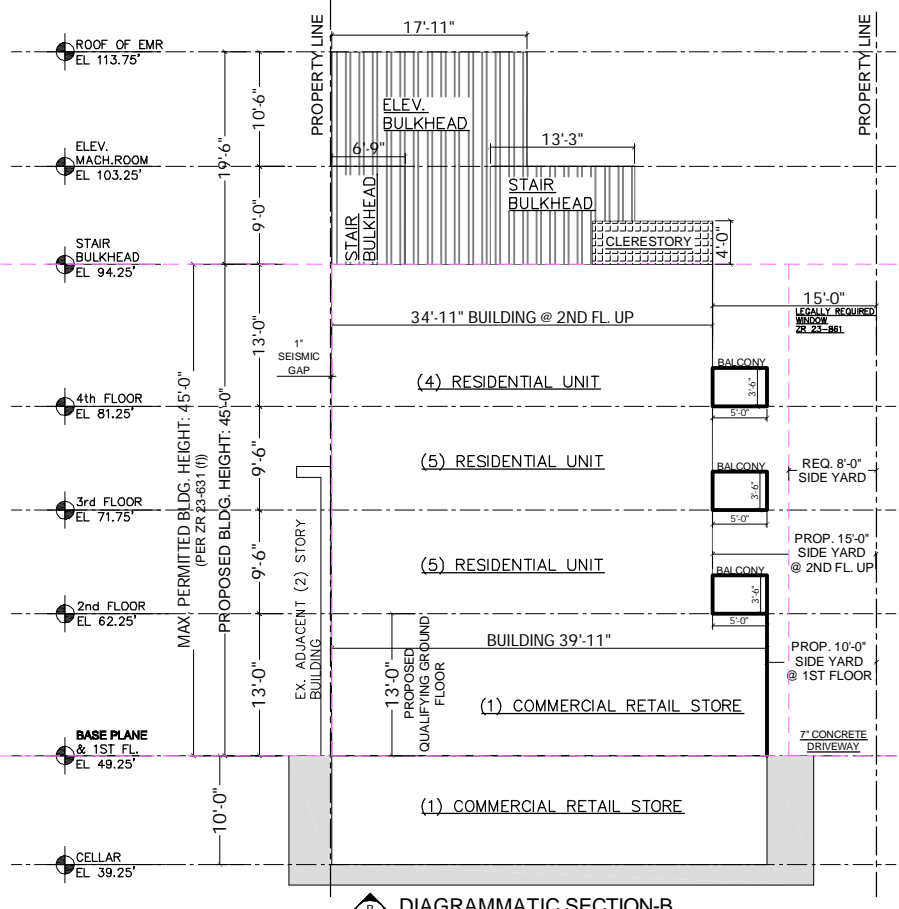
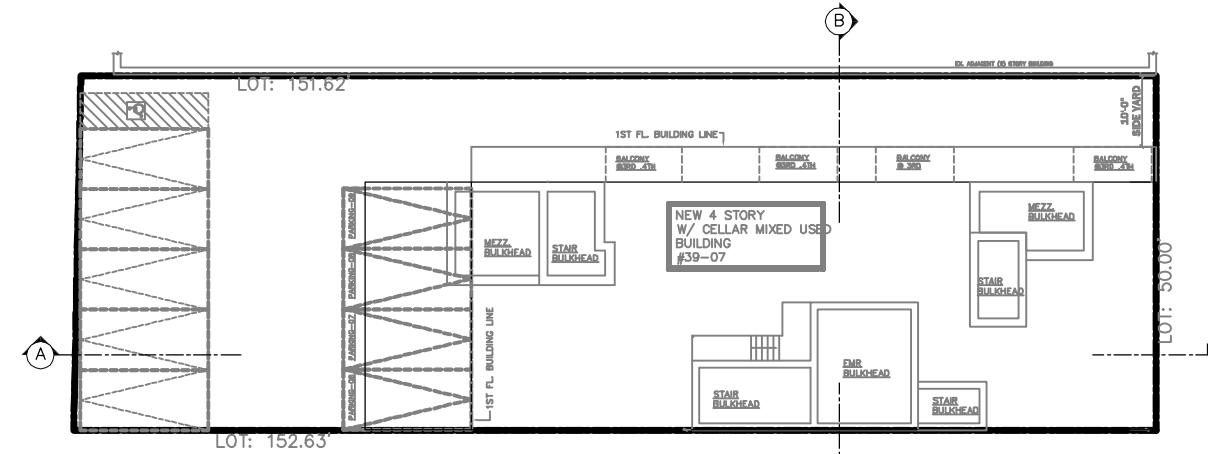


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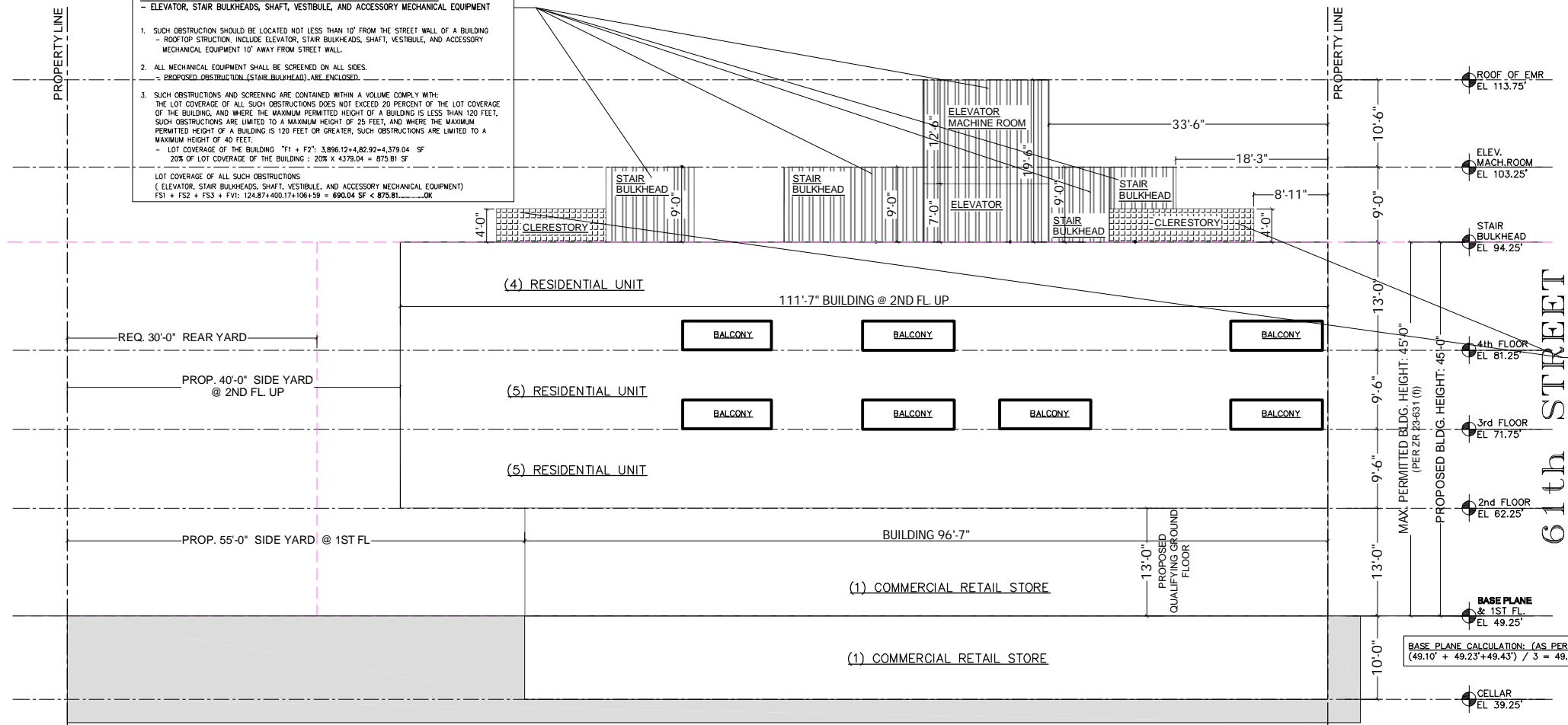


DIAGRAMMATIC SECTION-B

**PER ZR23-62 (g) PERMITTED OBSTRUCTIONS**  
 - ELEVATOR, STAIR BULKHEADS, SHAFT, VESTIBULE, AND ACCESSORY MECHANICAL EQUIPMENT

- SUCH OBSTRUCTION SHOULD BE LOCATED NOT LESS THAN 10' FROM THE STREET WALL OF A BUILDING  
 - ROOFTOP STRUCTURE, INCLUDE ELEVATOR, STAIR BULKHEADS, SHAFT, VESTIBULE, AND ACCESSORY MECHANICAL EQUIPMENT 10' AWAY FROM STREET WALL.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED ON ALL SIDES.  
 - PROPOSED OBSTRUCTION (STAIR BULKHEAD) ARE ENCLOSED.
- SUCH OBSTRUCTIONS AND SCREENING ARE CONTAINED WITHIN A VOLUME COMPLY WITH:  
 THE LOT COVERAGE OF ALL SUCH OBSTRUCTIONS DOES NOT EXCEED 20 PERCENT OF THE LOT COVERAGE OF THE BUILDING, AND WHERE THE MAXIMUM PERMITTED HEIGHT OF A BUILDING IS LESS THAN 120 FEET, SUCH OBSTRUCTIONS ARE LIMITED TO A MAXIMUM HEIGHT OF 25 FEET, AND WHERE THE MAXIMUM PERMITTED HEIGHT OF A BUILDING IS 120 FEET OR GREATER, SUCH OBSTRUCTIONS ARE LIMITED TO A MAXIMUM HEIGHT OF 40 FEET.  
 - LOT COVERAGE OF THE BUILDING:  $F1 + F2$ ;  $3,896.12 + 4,82.92 = 4,379.04$  SF  
 20% OF LOT COVERAGE OF THE BUILDING:  $20\% \times 4,379.04 = 875.81$  SF

LOT COVERAGE OF ALL SUCH OBSTRUCTIONS  
 (ELEVATOR, STAIR BULKHEADS, SHAFT, VESTIBULE, AND ACCESSORY MECHANICAL EQUIPMENT)  
 $F1 + F2 + F3 + F4$ ;  $124.87 + 400.17 + 106 + 59 = 690.04$  SF < 875.81.....OK



DIAGRAMMATIC SECTION-A

**PER ZR23-62 (i) PERMITTED OBSTRUCTIONS**  
 - Skylights, clerestories or other daylighting devices

Skylights, clerestories or other daylighting devices, not more than four feet in height, as measured from the maximum height limit, such devices shall be limited to a lot coverage not greater than 10% of the lot coverage of the roof and be located at least eight feet from the street wall edge. However, such devices shall not be permitted obstructions above a roof with a slope greater than 20 degrees:

- 4' HIGH ABOVE MAX. HEIGHT LIMIT.  
 - COMPLIED. SEE Z-003.00 DIAGRAM FOR DETAIL.
- 10% OF THE LOT COVERAGE OF ROOF.  
 - LOT COVERAGE OF ROOF AREA "F":  $3,896.12$  S.F.  
 10% OF LOT COVERAGE OF ROOF =  $3,896.12 \times 10\% = 389.6$  SF  
 PROPOSED CELRESTORY:  $FC1 + FC2$ :  $207.76 + 160.12 = 367.88$  <  $389.6$ .....OK TO COMPLIED
- 8' FROM THE STREET WALL EDGE.  
 - PROVIDE 8'-11" COMPLIED.  
 SEE Z-003.00 DIAGRAM FOR DETAIL.
- ON ROOF WHICH SLOPE LESS THAN 20 DEGREE  
 - COMPLIED. THEY ARE ON FLAT ROOF.

BASE PLANE CALCULATION: (AS PER ZR 12-10)  
 $(49.10' + 49.23' + 49.43') / 3 = 49.25'$



Buildings

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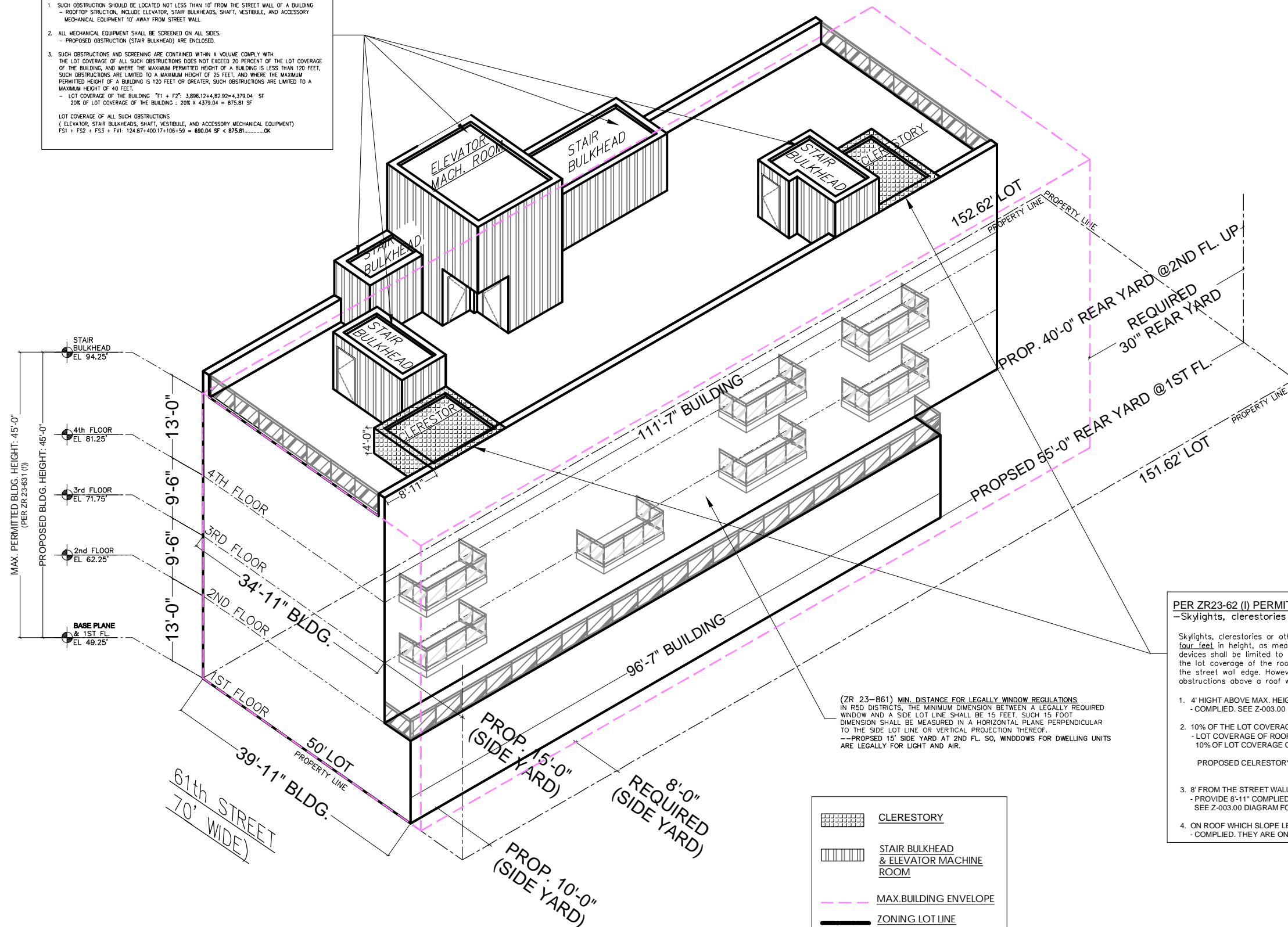
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 - LOT COVERAGE OF THE BUILDING "F1 + F2": 3,896.12+4,82.92=4,379.04 SF  
 20% OF LOT COVERAGE OF THE BUILDING = 20% X 4379.04 = 875.81 SF  
 LOT COVERAGE OF ALL SUCH OBSTRUCTIONS (ELEVATOR, STAIR BULKHEADS, SHAFT, VESTIBULE, AND ACCESSORY MECHANICAL EQUIPMENT)  
 FSI + FS2 + FS3 + FV1: 124.87+400.17+106+59 = 680.04 SF < 875.81.....OK



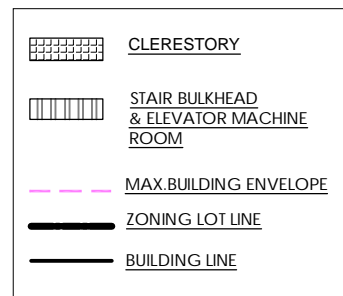
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- ON ROOF WHICH SLOPE LESS THAN 20 DEGRESS  
 - COMPLIED, THEY ARE ON FLAT ROOF.

(ZR 23-861) MIN. DISTANCE FOR LEGALLY WINDOW REGULATIONS IN R5D DISTRICTS, THE MINIMUM DIMENSION BETWEEN A LEGALLY REQUIRED WINDOW AND A SIDE LOT LINE SHALL BE 15 FEET. SUCH 15 FOOT DIMENSION SHALL BE MEASURED IN A HORIZONTAL PLANE PERPENDICULAR TO THE SIDE LOT LINE OR VERTICAL PROJECTION THEREOF.  
 -- PROPOSED 15' SIDE YARD AT 2ND FL. SO, WINDOWS FOR DWELLING UNITS ARE LEGALLY FOR LIGHT AND AIR.



SKY EXPOSURE PLANE  
 SCALE: N.T.S

