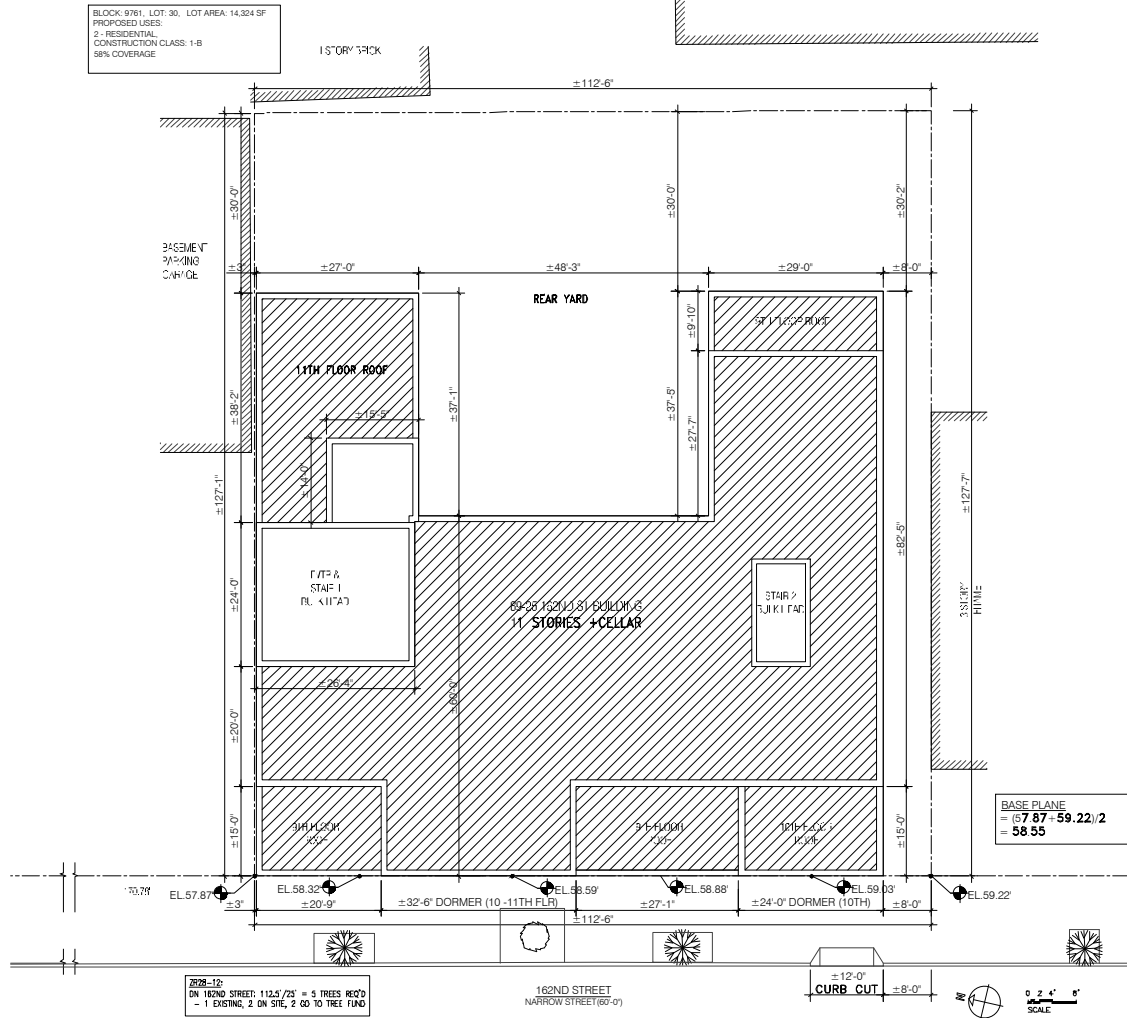
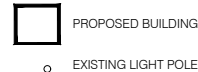


SITE PLAN DIAGRAM

SCALE: 3/32"=1'-0"

LEGEND

ZONE: C4-5X
(R7X EQUIVALENCE)



ZONING ANALYSIS:
 LOT AREA: 14,324 SF
 (SEE ARCHITECTURAL SURVEY, DATED 03/03/2022)
USE REGULATIONS:
 <ZR 22-12 <U.G. 2 PERMITTED AS-OF-RIGHT>
BULK REGULATIONS (QUALITY HOUSING)
LOT COVERAGE
 ZR 23-153 & 115-211(c) <QUALITY HOUSING>
 MAX LOT COVERAGE IN R7X
 INTERIOR LOT - 70% - 0.0205 SF
 PROPOSED - 8,341 (2ND FLOOR) 4,324 x 100 - 55% < 75% (OK)
 (SEE LOT COVERAGE DIAGRAM)

MAXIMUM FLOOR AREA RATIO
 ZR 23-154(b) & ZR 33-123 & ZR 115-211(b)
 <MAX F.A.R. PERMITTED FOR RESIDENTIAL USE IN R7X INCLUSIONARY AREAS = BASE 3.75 MAX 5.00>
 - PROPOSED FAR = 5.00 <= 5.00 - (OK)
 - TOTAL ZFA ALLOWED = 14,324 X 5.00 = 71,620 SF
 - PROPOSED ZFA = 71,614 SF - (OK)
 - (PROPOSED AFFORDABLE ZFA = 15,559 SF)

DENSITY
 ZR 23-22 <MAX. NO. OF DWELLING UNITS IN R7X>
 FACTOR 680
 PERMITTED RES ZFA/ FACTOR
 71,620 SF / 680 = 105 UNITS
 PROPOSED DWELLING UNITS = 89 UNITS - (OK)

YARD REGULATION
 IN R7X DISTRICT: ZR 23-462(c) - NO SIDE YARD IS REQUIRED;
 - 8'-0" SIDE YARD PROVIDED

ZR 23-47-MINIMUM REQUIRED REAR YARD
 - DEPTH OF 30'-0" REAR YARD MIN. SHALL BE PROVIDED.

ZR 23-632-FRONT SETBACKS IN DISTRICT WHERE FRONT YARDS ARE NOT REQUIRED
 NO FRONT YARD IS REQUIRED.

HEIGHT AND SET BACK REGULATION
 ZR 115-23 - ALL HEIGHTS SHALL BE MEASURED FROM THE BASE PLANE.
 IN R7X DISTRICT:
 PROPOSED BASE PLANE = 58.55' (SEE DWG.A601)
 ZR 23-662(B) & ZR24-11 & ZR 115-233 - MODIFIED HEIGHT AND SETBACK REGULATIONS FOR CERTAIN INCLUSIONARY HOUSING BUILDINGS

MIN. BASE HEIGHT REQ'D	60'
MAX. BASE HEIGHT REQ'D	95'
PROPOSED BASE HEIGHT	92'-6" - COMPLIES
MAX. BUILDING HEIGHT REQ'D	125'
PROPOSED BUILDING HEIGHT	115'-0" - COMPLIES
MAX. # OF STORIES	12
PROPOSED # OF STORIES	11 - COMPLIES
FRONT SETBACK REQ'D	15' (NARROW STREET)
PROPOSED FRONT SETBACK	15' - COMPLIES

SEE HEIGHT AND SETBACK DIAGRAM

ACCESSORY OFF-STREET PARKING & LOADING REGULATIONS
 ZR 23-23-REQUIRED PARKING FOR RESIDENTIAL IN R7X-
 50% OF DWELLING UNITS IN R7X PURSUANT TO THE QUALITY HOUSING PROGRAM.
 20% OF DWELLING UNITS ARE AFFORDABLE UNITS PARKING WAIVED IN TRANSIT ZONE
 89 X 20% = 18 (17 + 1 SUPER'S UNIT)
 :89-18) X 50% = 36 PARKING SPACES REQ'D
 - 36 PROVIDED AT CELLAR (SEE A100)

5% HC PARKING REQ'D = 36 X 5% = 2 HC PARKING REQ'D
 - 2 HC PARKING PROVIDED AT CELLAR (SEE A100)

ZR 25-811 <REQUIRED BICYCLE PARKING>
 RESIDENTIAL (U.G. 2A): 1 PER 2 DWELLING UNIT
 SEE ZONING CALCULATION TABLE
 TOTAL BICYCLE PARKING REQUIRED = 89 / 2 = 45
 TOTAL BICYCLE PARKING PROPOSED = 45 - (OK) (SEE A101)

ZR 25-83 <SIZE & LOCATION OF BICYCLE PARKING>
 MIN. 15 SF PER BICYCLE PARKING SPACE
 1ST FLOOR BICYCLE PARKING -
 NET AREA = 675 SF / 45 BIKES = 15 SF/BIKE - (OK)

QUALITY HOUSING PROGRAM:
 PROJECT PURSUANT QUALITY HOUSING PROGRAM AND SHALL COMPLY WITH ALL SECTIONS OF ARTICLE 24-CHAPTER 8.

ZR 28-12 & ZR 115-32
 "RESIDENTIAL STORAGE AND REMOVAL LOCATIONS SHALL BE PROVIDED AT THE RATE OF 2.9 CUBIC FEET PER DWELLING UNIT"
 - 89 DWELLING UNITS X 2.9 = 258 CFT STORAGE REQ'D
 - 6'-0"x6'-2"x7'-0" = 258 CFT STORAGE PROVIDED AT CELLAR (SEE A100) - (OK)

ZR 28-14 <DAYLIGHT IN CORRIDORS>
 50% OF CORRIDOR S.F. EXCLUDED FROM DEFINITION OF FLOOR AREA IF 20 SF MIN. OF WINDOW IS PROVIDED. (SEE A101, A104, & A105)

ZR 28-23
 A REFUSE DISPOSAL ROOM WITH MINIMUM 12 SF AND NO DIMENSION LESS THAN 3 FEET SHALL BE PROVIDED ON EACH STORY WITH ENTRANCES TO DWELLING UNITS. 12 SF OF SUCH REFUSE STORAGE ROOM SHALL BE EXCLUDED FROM FLOOR AREA. (SEE A101 - A105)

ZR 28-21 & ZR 115-32
 MINIMUM REQUIRED RECREATION SPACE =
 3.3% OF REQUIRED RESIDENTIAL FLOOR AREA IN R7A.
 71,620 SF x 3.3% = 2363 S.F. REQUIRED,
 PROPOSED : 1027 SF INDOOR, 1336 SF OUTDOOR
 (SEE A101 & A106)
ZR 28-22
 STANDARDS FOR RECREATION SPACE THE MIN. DIMENSION OF ANY RECREATION SPACE SHALL BE 15'. THE MIN. SIZE OF ANY OUTDOOR RECREATION SPACE SHALL BE MIN. 225 SF. INDOOR RECREATION MIN IS 300 SF. (SEE A101 & A106)

ZR 28-31 <DENSITY PER CORRIDOR> R7X
 IF THE NUMBER OF DWELLING UNITS DO NOT EXCEED THE NUMBER SET FORTH IN THIS CHART 50 % OF SQUARE FEET OF THE CORRIDOR SERVING SUCH STORY MAY BE EXCLUDED FROM FLOOR AREA.
 - R7X = 11 UNITS PER CORRIDOR

LL 92 LL 94 BC 511.2 BB 2019-510 BC 1507.16 <GREEN ROOF/IND SOLAR PANELS>
 PROVIDE GREEN ROOF OR SOLAR PANEL OF MIN. 4 KW IN CAPACITY - 5 KW SOLAR PANEL AREA PROVIDED ON THE ROOF (SEE A106)

STREET TREE PLANTING
ZR 26-41
 REQUIRED ONE STREET TREE FOR EVERY 25' OF STREET FRONTAGE OF THE ZONING LOT.
 AT 162ND ST., 112.5' x 25' = 2.9 = 5 TREES REQ'D.
 EXISTING 1 TREE ON-SITE
 PROPOSED 2 NEW TREES ON-SITE & 2 TREES IN CORRIDOR (SEE A102)

UNIT INFORMATION

RESIDENTIAL UNIT COMPOSITION:	AFFORDABLE HOUSING PROGRAM - 20% OF 88 = 18
STUDIO	- 8
1 BEDROOM	- 37
2 BEDROOM	- 44
TOTAL	- 89
STUDIO	- 1
1 BEDROOM	- 8
2 BEDROOM	- 9
TOTAL	- 18



ZD1 Zoning Diagram
 Must be typewritten.

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

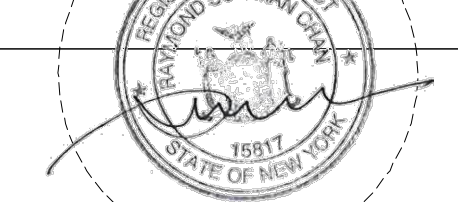
Location Information

House No(s)	89-25
Street Name	162ND STREET
Borough	QUEENS
Block	9761
Lot	30
BIN	

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the department.

Name (please print) _____

Signature _____ Date 07/20/23

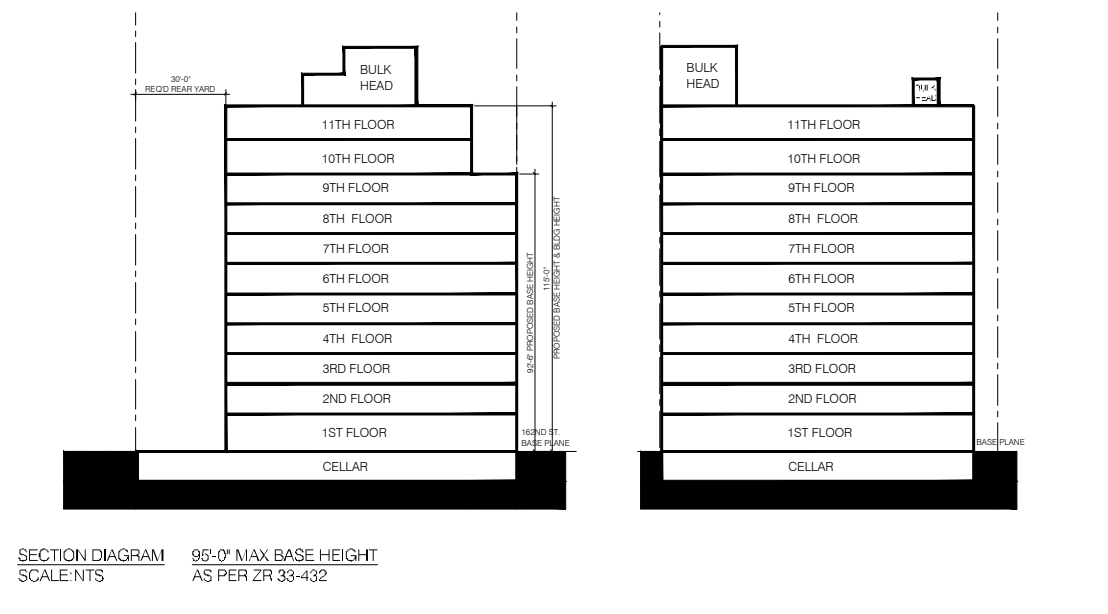


P.E. / R.A. Seal (apply seal, then sign and date over seal)

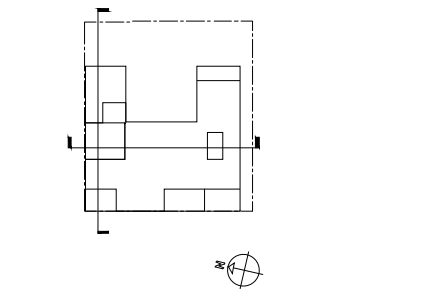
Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



SECTION DIAGRAM 95'-0" MAX. BASE HEIGHT AS PER ZR 33-432
 SCALE: NTS



AXONOMETRIC DIAGRAM
 NOT TO SCALE

