

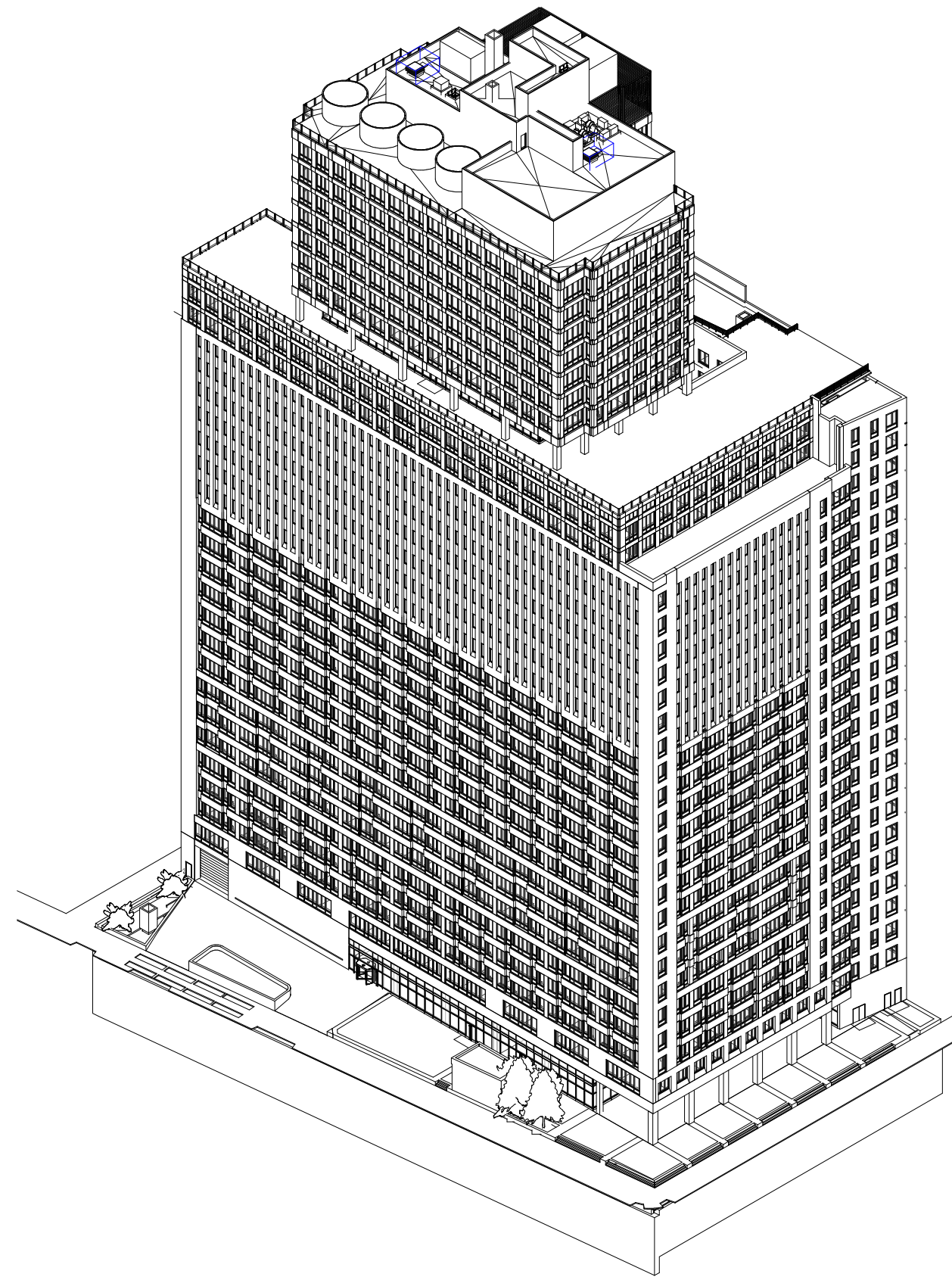
ZONING ANALYSIS

LOT ADDRESS: 25 WATER STREET, NEW YORK, NY 10004
 BOROUGH: MANHATTAN
 BLOCK NUMBER: 5
 LOT NUMBER: 10
 ZONING DISTRICT: C5-5 (R10 EQUIVALENT)
 SPECIAL DISTRICT: SPECIAL LOWER MANHATTAN DISTRICT
 ZONING MAP NO.: 12B
 LANDMARK STATUS: NONE
 COMMUNITY DISTRICT: MANHATTAN COMMUNITY DISTRICT 1
 LAND USE: COMMERCIAL & RESIDENTIAL
 HISTORIC DISTRICT: NONE
 TRANSIT ZONE: NONE
 LOT AREA: 54,024.56 SF - SEE SURVEY

ZONING SECTION

DESCRIPTION

ZONING SECTION	DESCRIPTION
32-10	USES PERMITTED C5-5 (R10 EQUIVALENT): USE GROUPS 1-6,9-11 (SEE LIMITATIONS IN 91-12)
22-10	R10: USE GROUPS 1,2,3,4
91-11	C5-5: USE GROUP 7B, 7E, 8A*, 8B, 8E, 12A**, 12B, 12C, 12E *inclusive of waiting area requirements for theaters as listed in U.G.8A **except for each and drinking establishments as listed in U.G. 12A
91-12	USES NOT PERMITTED USE GROUPS 6B, 6E, 7C, 7D, 8C, 8D, 9B, 10B, 11 OR 12D
	USES PROPOSED USE GROUP 2, 6 & 9 COMPLIES
33-01, 15-01	IN MANHATTAN COMMUNITY DISTRICT 1, IN AREA SOUTH OF MURRAY STREET AND ITS EASTERLY PROLONGATION AND THE BROOKLYN BRIDGE, THE CONVERSION OF NON-RESIDENTIAL FLOOR AREA TO RESIDENCES IN BUILDING ERCTED PRIOR TO JANUARY 1977 SHALL BE SUBJECT TO THE PROVISIONS OF ARTICLE 1, CHAPTER 5. EXISTING BUILDING WAS BUILT IN 1969
15-01	FLOOR AREA PERMITTED CONVERSIONS SHALL INCLUDE THE CONVERSION OF EXISTING FLOOR SPACE USED FOR MECHANICAL EQUIPMENT AND NOT COUNTED AS FLOOR AREA TO RESIDENCES EXISTING FLOOR AREA: 904,914.00 SF (SEE EXISTING FLOOR AREA SURVEY ON ZO-005) EXISTING BUILDING HEIGHT: 22 STORIES (22 STORIES + ROOF INCLUDING BULKHEADS) / 294.81 FEET (FROM REFERENCE PLANE)
	FLOOR AREA PROPOSED PROPOSED ZONING FLOOR AREA: 898,611.74 SF - COMPLIES (SEE FLOOR AREA CHART ON ZO-002) PROPOSED BUILDING HEIGHT: 33 STORIES / 433.77 FEET - COMPLIES (FROM REFERENCE PLANE)
15-12	OPEN SPACE EQUIVALENT MAXIMUM 50% OF THE GROSS ROOF AREA OF A BUILDING SHALL BE PROVIDED FOR RECREATIONAL USE RECREATIONAL SPACE PROPOSED COMPLIES - SEE SHEET 6/Z-006
91-33	LOT COVERAGE 65% - MAX BASE HEIGHT TO 300' (TO FLOOR 24) - SEE 3/ZO-006; COMPLIES 50% - 300' AND ABOVE - SEE 4/ZO-006; COMPLIES
91-34	MAX. HORIZONTAL DIMENSION FOR TALL BUILDINGS FOR ANY PORTION OF BUILDING ABOVE 300 FEET, MAX HORIZONTAL DIMENSION IS 175' 175' PROVIDED; SEE 5/ZO-006; COMPLIES
15-111	DENSITY REGULATIONS 680 PERMITTED FACTOR FOR DWELLING UNITS 891,476.74 SF/ 680 = 1311 1311 DWELLING UNITS PERMITTED, 1263 PROPOSED; COMPLIES
23-541	YARD REGULATIONS NO REAR YARD WITHIN 100 FEET OF CORNER NONE PROVIDED - COMPLIES - SEE 1/ZO-001
23-47	INTERIOR LOT 30 FT MIN. REQ'D REAR YARDS PROVIDED - COMPLIES - SEE 1/ZO-001
91-30	HEIGHT AND SETBACK AND LOT COVERAGE REGULATIONS HEIGHT AND SETBACK REGULATIONS OF THE UNDERLYING DISTRICTS ARE SUPERCEDED BY THE REGULATIONS OF THIS SECTION. HEIGHT SHALL BE MEASURED FROM CURB LEVEL
91-31	STREET WALL REGULATIONS MAX BASE HEIGHT SHALL BE 85 FT OR 1.5 TIMES WIDTH OF STREET WHICHEVER IS GREATER WATER STREET - 90FT WIDE X 1.5= 135FT MAX. BEFORE SETBACK EXISTING NON-COMPLIANCE TO REMAIN - NO CHANGE - SEE 2/ZO-007 BROAD STREET: 77.5FT WIDE X 1.5= 116.25FT MAX. BEFORE SETBACK EXISTING NON-COMPLIANCE TO REMAIN - NO CHANGE - SEE 1/ZO-007
91-32	SETBACK REGULATIONS MINIMUM SETBACK FOR SITE 54,024.56 SF IS 20'-0" BROAD STREET: REQUIRED SETBACK IS AT 50% OF THE AGGREGATE WIDTH OF THE STREET WALLS OF THE EXISTING BUILDING; EXISTING BUILDING - NON-COMPLIANT 20' SETBACK AT ADDITION PROVIDED; COMPLIES - SEE 1/ZO-006 & 1/ZO-007 WATER STREET: SETBACK IS NOT REQUIRED FOR STREET WALLS FRONTING UPON THE MAJOR PORTION OF A PUBLIC PLAZA. REFER TO ZRD1 72403 (12/15/22) NONE REQUIRED - NONE PROVIDED; COMPLIES - SEE 2/ZO-006 & 2/ZO-007



AXONOMETRIC DIAGRAM 1"=60'-0"



ZD1 Zoning Diagram
Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

Location Information

House No(s) 25
 Street Name Water Street

Borough Manhattan
 Block 5
 Lot 10
 BIN 1000007

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) John Cetra
 Signature _____ Date 08/17/2023



P.E. / R.A. Seal (Official Seal of the State of New York)
 (Seal to be signed and dated over)

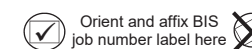
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BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



ZD1 Zoning Diagram
Must be typewritten.



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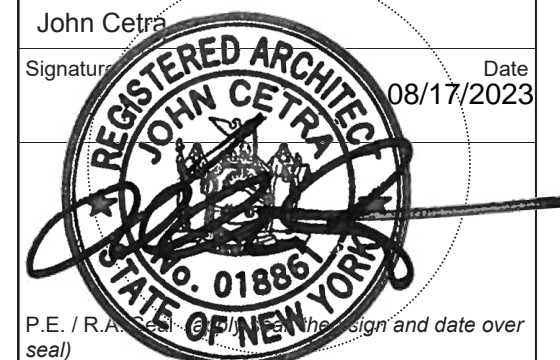
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Name (please print) John Cetra
Signature [Signature] Date 08/17/2023



P.E. / R.A. Seal (Please affix seal, sign and date over seal)

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PLAN EXAMINER SIGN AND DATE

64-11 **FLOOD RESISTANT CONSTRUCTION ELEVATION**
REFERENCE PLANE = AVERAGE CURB ELEVATION + 10'
6.05' + 10' = 16.05' - SEE 2/ZO-001

91-50 **OFF STREET PARKING**
REQUIRED - NONE REQUIRED IN MANHATTAN CORE, 114 PROVIDED - COMPLIES
13-10 PERMITTED - NO MORE THAN 200 SPACES OR A NUMBER OF SPACES EQUAL TO 20% OF NUMBER OF DWELLING
91-51(a) UNITS, WHICHEVER IS LESS, SHALL BE PERMITTED; 1263 X .2 = 252.6
LESS THAN 200 PROVIDED - COMPLIES - SEE A-100
EXISTING CURB CUTS TO REMAIN - SEE A-100
91-51(b) PARKING IS BELOW GRADE - COMPLIES - SEE A-100
91-51(c) NO EXHAUST VENTS SHALL OPEN ONTO ANY STREET OR PUBLIC PARK OR PUBLICLY ACCESSIBLE OPEN SPACE -
91-51(d) EXHAUSTING AT GROUND FLOOR VEHICULAR DRIVE - COMPLIES - SEE A-101
91-51(e) PARKING AND RESIDENTIAL UNITS ARE ON THE SAME ZONING LOT - COMPLIES - SEE A-100

ACCESS TO STREET:
36-52 MIN. 50' FROM INTERSECTION - COMPLIES - SEE 1/ZO-001

OFF-STREET LOADING
91-52 MAP 5 CURB CUTS PROHIBITED ON WATER STREET - EXISTING CURB CUTS TO REMAIN
NO OFF-STREET LOADING REQUIRED FOR RESIDENTIAL USE
36-62 C-5 COMMERCIAL USE, FIRST 25,000 NONE, NEXT 15,000 1, NEXT 60,000SF 1
COMMERCIAL AREA = 72,125 SF - 2 REQUIRED, 2 PROVIDED - COMPLIES
13-31 & 36-681 MINIMUM DIMENSIONS FOR REQUIRED LOADING BERTH 37X12X14' HIGH; PROVIDED, COMPLIES - SEE A-101

BICYCLE PARKING
25-80 RESIDENTIAL UG2: ENCLOSED BICYCLE PARKING - 1 PER 2 DWELLING UNITS REQUIRED
1263 UNITS PROPOSED/2 = 632 BICYCLE SPACES REQUIRED
PROVIDED: 632 BICYCLE SPACES; COMPLIES - SEE SHEET Z-008

36-711 COMMERCIAL UG6C: NO COMMERCIAL SPACES REQUIRED
COMMERCIAL UG9: NO COMMERCIAL SPACES REQUIRED
COMPLIES

33-03 **STREET TREES**
26-41 (1) TREE PER 25' OF STREET FRONTAGE
WATER STREET: 297.35 FT / 25 FT = 12 TREES
BROAD STREET: 167.13 FT / 25 FT = 7 TREES
TOTAL NUMBER OF TREES = 19 TREES
TREE T7 CANNOT BE PLANTED DUE TO EXISTING WATER VALVE
TREE T8 CANNOT BE PLANTED DUE TO EXISTING WATER VALVE AND TRAFFIC SIGN
TREE T9 CANNOT BE PLANTED DUE TO EXISTING VALVE
TREE T11 CANNOT BE PLANTED DUE TO EXISTING BUS STOP SHELTER
TREE T12 CANNOT BE PLANTED DUE TO EXISTING TRAFFIC SIGN AND LIGHT POLE
TREE T13 CANNOT BE PLANTED DUE TO EXISTING HYDRANT
TREE T14 CANNOT BE PLANTED DUE TO EXISTING MANHOLE
TREE T15 CANNOT BE PLANTED DUE TO EXISTING DRIVEWAY
TREES T16 & T17 CANNOT BE PLANTED DUE TO EXISTING GRATING
TREE T18 CANNOT BE PLANTED DUE TO EXISTING DRIVEWAY AND GRATING
TREE T19 CANNOT BE PLANTED DUE TO EXISTING CURB CUT
(12) TREES WILL BE COMPENSATED FOR BY PAYING INTO TREE FUND
SEE 1/Z-001
7 TREES (T1, T2, T3, T4, T5, T6, AND T10) TO BE PLANTED

15-112(b) **LIGHT AND AIR**
15-23 EVERY DWELLING UNIT SHALL MEET THE LIGHT AND AIR REQUIREMENTS OF
SECTION 277 OF THE MDL - COMPLIES - SEE A-150 SERIES FOR CALCULATIONS

15-13 **SPECIAL HOME OCCUPATION PROVISION**
UP TO 49% PERCENT OF THE TOTAL FLOOR AREA OF A DWELLING UNIT MAY BE USED FOR A
HOME OCCUPATION
PROPOSED COMPLIES - SEE A-100 SERIES

