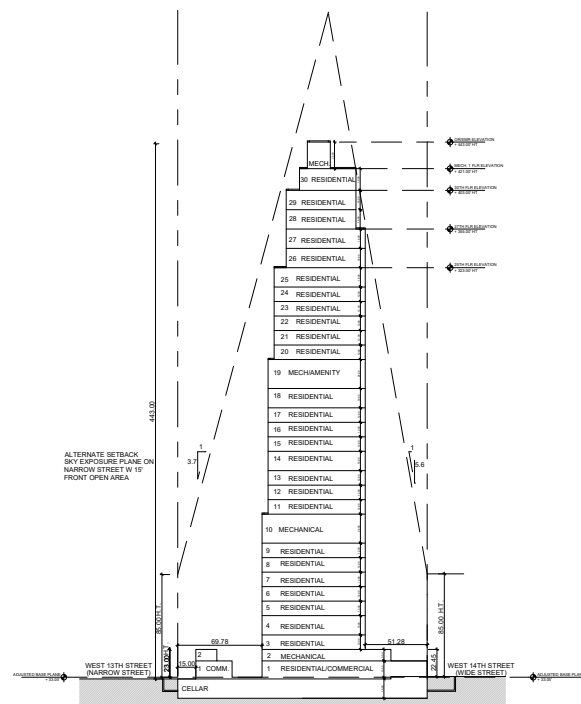
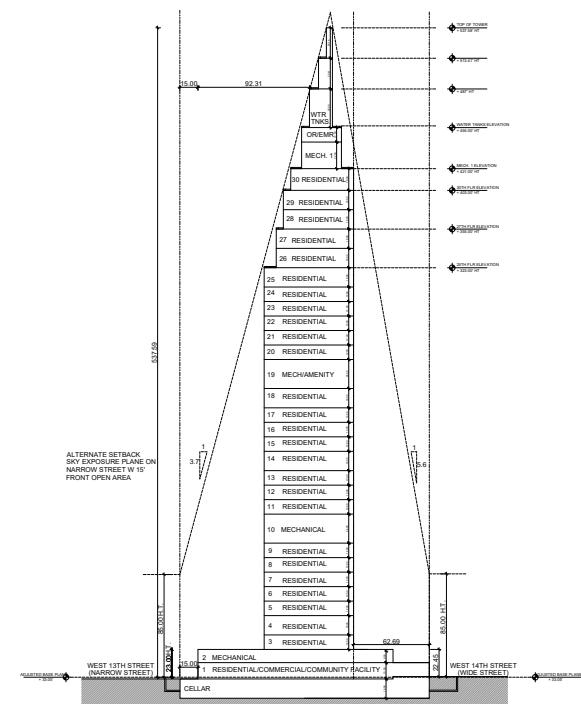


4 NW AXONOMETRIC DIAGRAM A
SCALE: NTS



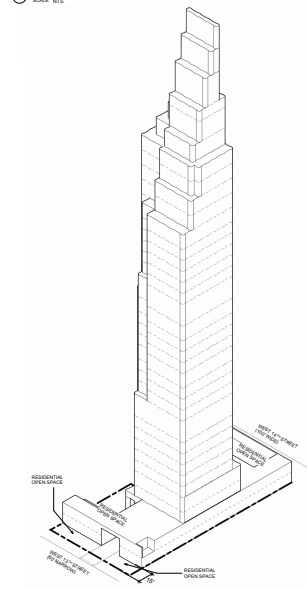
3 HEIGHT & SETBACK DIAGRAM - NORTH/SOUTH SECTION BB
SCALE: NTS

NOTE: ALL HEIGHTS (H T) ARE BASED UPON THE ADJUSTED BASE PLANE AT EL. +33.00'
NOTE: ALL ELEVATIONS TAKEN ABOVE NAVD 1988 DATUM + 1.00'
NOTE: ON 14TH STREET FRONTAGE, BUILDING COMPLIES WITH PARAGRAPH 8 OF 25 23-73b. MAX STREET ALL 75' - SKY EXPOSURE PLANE RISES A VERTICAL DISTANCE OF 3:1 TO HORIZONTAL DISTANCE OF 1:
NOTE: ON 13TH STREET FRONTAGE, BUILDING COMPLIES WITH PARAGRAPH 8 OF 25 23-73b. BECAUSE AN OPEN AREA IS PROVIDED ON THE ENTIRE LENGTH OF THE LOT LINE TO THE DEPTH OF 15', SKY EXPOSURE PLANE RISES A VERTICAL DISTANCE OF 5:8 TO HORIZONTAL DISTANCE OF 1:

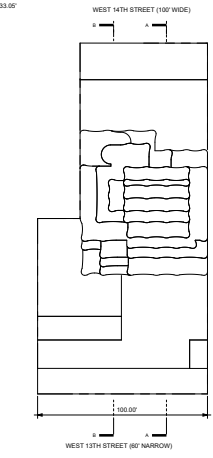


2 HEIGHT & SETBACK DIAGRAM - NORTH/SOUTH SECTION AA
SCALE: NTS

NOTE: ALL HEIGHTS (H T) ARE BASED UPON THE ADJUSTED BASE PLANE AT EL. +33.00'
NOTE: ALL ELEVATIONS TAKEN ABOVE NAVD 1988 DATUM + 1.00'



5 SE AXONOMETRIC DIAGRAM A
SCALE: NTS



6 KEY SITE PLAN
SCALE: NTS



ZD1 Zoning Diagram
Must be typewritten.

Orient and affix BIS job number label here

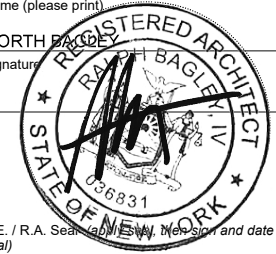
Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

Location Information

House No(s) 5
Street Name WEST 13 STREET
Borough MANHATTAN
Block 577
Lot 34
BIN 1009716

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) FORTH BACKEY
Signature _____ Date _____



P.E. / R.A. Seal (affix in NW corner and date over seal)

Internal Use Only
BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



ZD1 Zoning Diagram

Must be typewritten.
Sheet ___ of ___

1 Applicant Information Required for all applications.

Last Name BAGLEY		First Name FORTH		Middle Initial	
Business Name KPF		Business Telephone			
Business Address 11 WEST 42ND STREET				Business Fax	
City NEW YORK		State NY	Zip 10036	Mobile Telephone	
E-Mail FBAGLEY@KPF.COM				License Number 036831	

2 Additional Zoning Characteristics Required as applicable.

Dwelling Units **36** Parking area **2450.00** sq. ft. Parking Spaces: Total **7** Enclosed **7**

3 BSA and/or CPC Approval for Subject Application Required as applicable.

Board of Standards & Appeals (BSA)

- Variance Cal. No. _____ Authorizing Zoning Section 72-21
- Special Permit Cal. No. _____ Authorizing Zoning Section _____
- General City Law Waiver Cal. No. _____ General City Law Section _____
- Other Cal. No. _____

City Planning Commission (CPC)

- Special Permit ULURP No. _____ Authorizing Zoning Section _____
- Authorization App. No. _____ Authorizing Zoning Section _____
- Certification App. No. _____ Authorizing Zoning Section _____
- Other App. No. _____

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
CELLAR	17,198.38	II	0	0	0	0	0
001	7,704.31	II	4,509.44	0	0	0	0.25
001	2,494.86	VI	0	0	2,417.75	0	0.13
001	534.31	III	0	518.15	0	0	0.03
002	8,426.05	II	0	0	0	0	0
003	5,295.01	II	4,900.17	0	0	0	0.27
004	5,033.12	II	4,598.42	0	0	0	0.25
005	5,104.14	II	4,643.99	0	0	0	0.26
006	5,104.14	II	4,643.99	0	0	0	0.26
007	5,104.14	II	4,643.99	0	0	0	0.26
008	5,104.14	II	4,643.99	0	0	0	0.26
009	5,104.14	II	4,643.99	0	0	0	0.26
010	5,104.64	II	0	0	0	0	0

ZD1

Sheet ___ of ___

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
011	4,866.91	II	4,404.17	0	0	0	0.24
012	4,866.91	II	4,404.17	0	0	0	0.24
013	4,866.91	II	4,404.17	0	0	0	0.24
014	4,866.91	II	4,404.17	0	0	0	0.24
015	4,961.21	II	4,520.43	0	0	0	0.25
016	4,961.21	II	4,520.43	0	0	0	0.25
017	4,961.21	II	4,520.43	0	0	0	0.25
018	4,961.21	II	4,520.43	0	0	0	0.25
019	4,966.49	II	1,298.94	0	0	0	0.07
020	4,655.36	II	4,244.58	0	0	0	0.23
021	4,655.36	II	4,244.58	0	0	0	0.23
022	4,655.36	II	4,244.58	0	0	0	0.23
023	4,655.36	II	4,244.58	0	0	0	0.23
024	4,655.36	II	4,244.58	0	0	0	0.23
025	4,655.36	II	4,244.58	0	0	0	0.23
026	3,481.32	II	3,460.77	0	0	0	0.19
027	3,480.48	II	3,105.26	0	0	0	0.17
028	3,565.26	II	3,168.71	0	0	0	0.18
029	3,472.03	II	3,115.08	0	0	0	0.17
030	1,974.99	II	1,668.08	0	0	0	0.09
ROOF	1,350.24	II	0	0	0	0	0
BLKHD	1,863.60	II	0	0	0	0	0
Total	169,070.63		114,210.70	518.15	2417.75		6.48
5% Ultra	Low Energy	Deductions	-5,438.70	-24.50	-114.80		
Totals	169,070.63		108,772.00	493.65	2302.95		6.17

Total Zoning Floor Area 111,568.60