







LEGEND

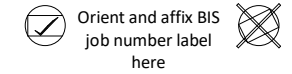
R10A / C2-8 QUALITY HOUSING PROGRAM

-  PROPERTY LINE
-  DISTRICT BOUNDARY
-  PROPOSED BUILDING
-  EXISTING BUILDING
-  EXISTING TREE
-  PROPOSED TREE



ZD1 Zoning Diagram

Must be typewritten.



Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

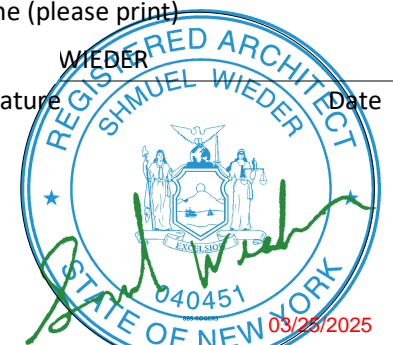
Location Information

House No(s) 1655
 Street Name 1ST AVENUE
 Borough MANHATTAN
 Block 1549
 Lot (s) 24
 BIN 1050031

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Name (please print)

Signature **WIEDER** Date _____

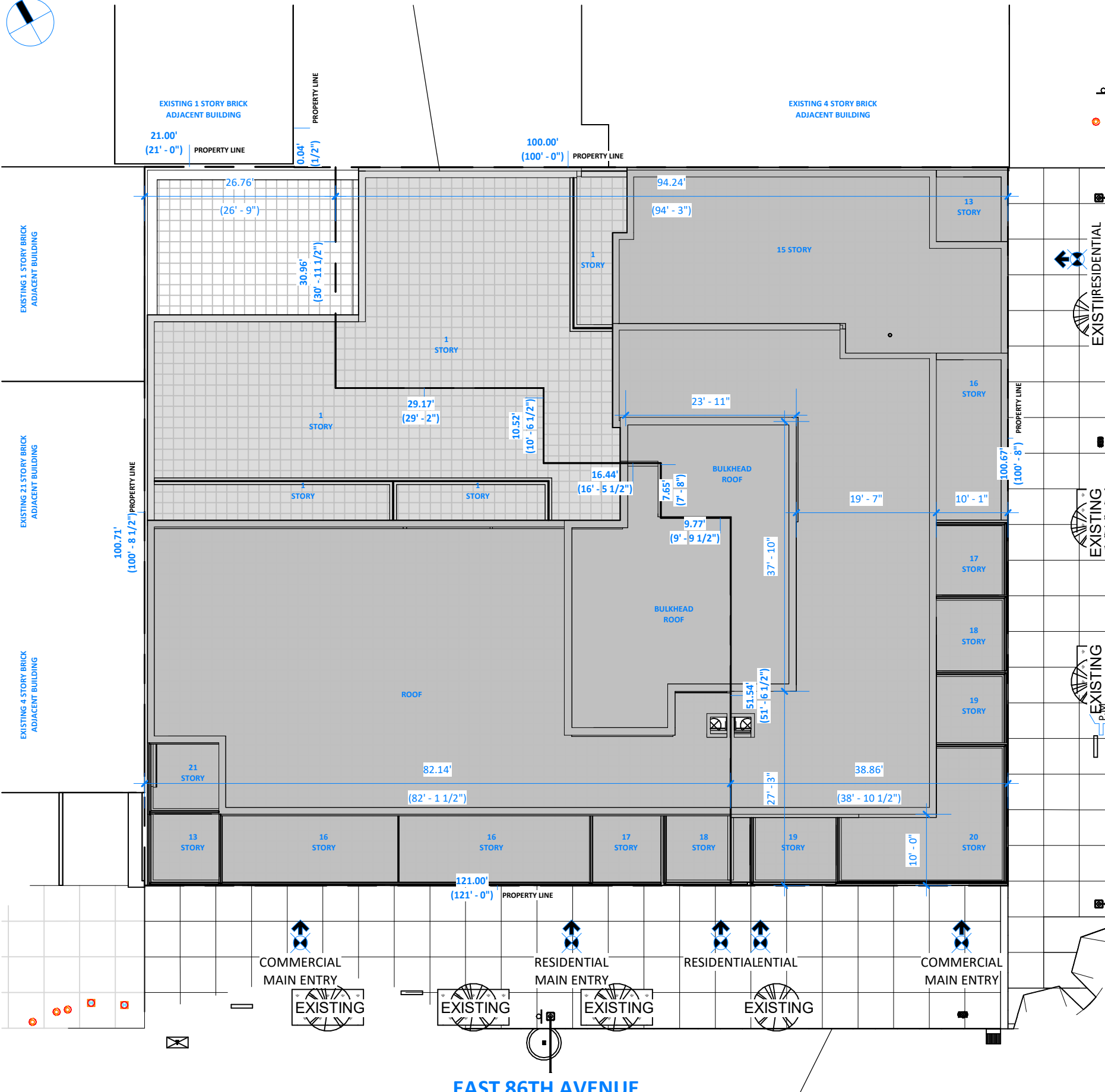


P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



LOT AREA : 12,182 SQ.FT.

ZR 23-154 LOT COVERAGE
 WITHIN 100'-0" OF CORNER: 7,766 SF (78%)
 BEYOND 100'-0" OF CORNER: 1,056 SF (69%)

ZR 23-47, 23-541, 35-53 REAR YARDS
 REQUIRED REAR YARD: 30' - 0"
 PROPOSED REAR YARD: 30' - 0"

ZR 23-662 (c)(1), 35-652 SETBACKS
 REQUIRED SETBACK: 10' - 0" WIDE STREET
 PROPOSED SETBACK: 10' - 0" 1ST AVENUE & EAST STREET

ZR 23-622 (c) (1)(2) (3) PERMITTED OBSTRUCTION
 OBSTRUCTION (BULKHEAD) AREA = 1,188 SF < 4,411 SF

ZR 35-651 (b)(1)(2) STREET WALL
 ALIGNED W/PROPERLY LINE, COMPLIES

ZR 23-664 (b), 35-652 BUILDING HEIGHT
 MIN. BASE HEIGHT: 125' - 0"
 MAX. BASE HEIGHT: 155' - 0"
 PROPOSED BASE HEIGHT: 153' - 0"
 MAX BUILDING HEIGHT: 235' - 0"
 PROPOSED BUILDING HEIGHT: 235' - 0"

1 SITE PLAN ZD1

SCALE: 1/16" = 1'-0"

AXONOMETRIC DIAGRAM

NOT TO SCALE

LEGEND

 MAXIMUM BUILDING ENVELOPE

 PROPOSED BUILDING

 PERMITTED OBSTRUCTION

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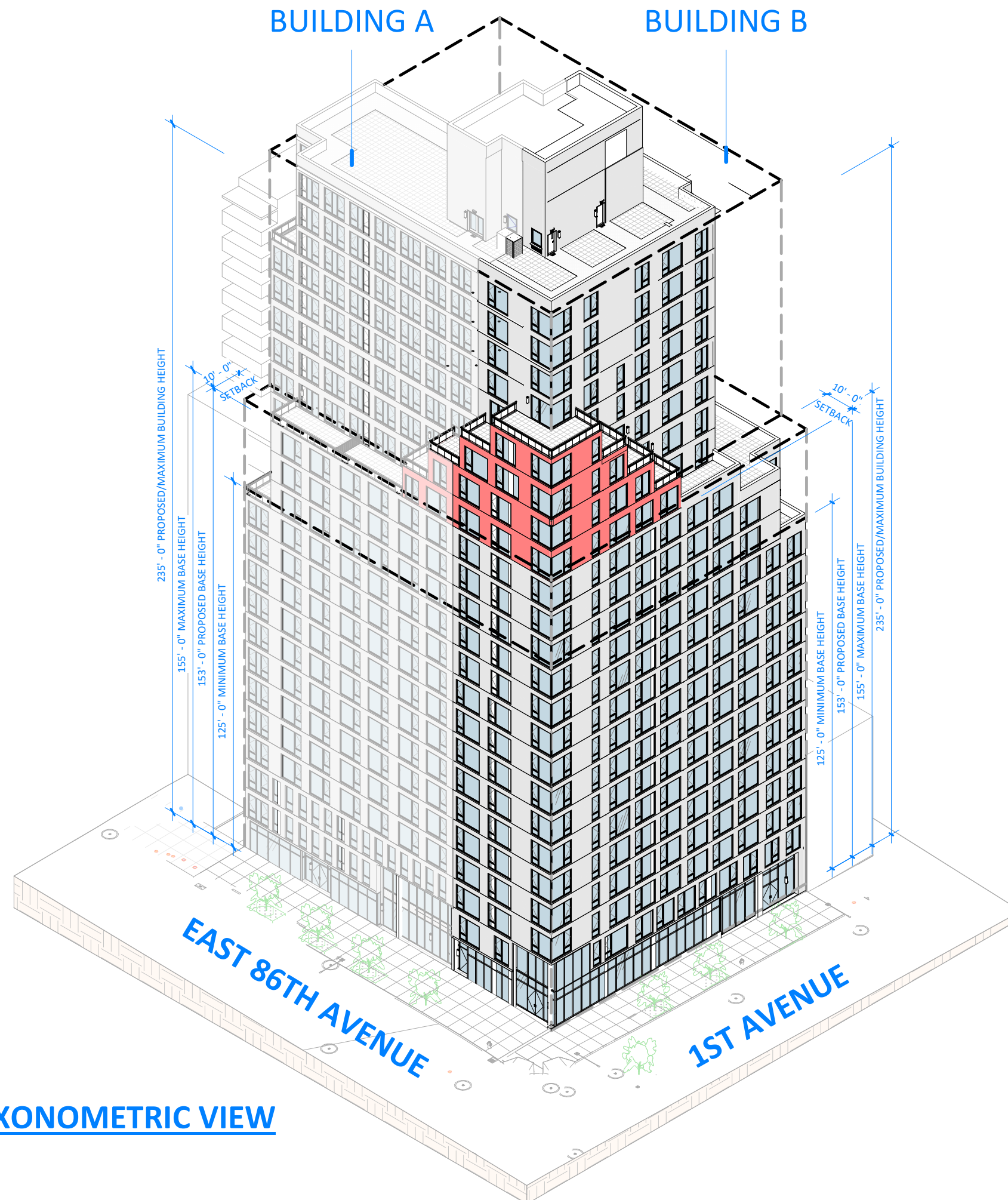
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1 ZD1 AXONOMETRIC VIEW
SCALE:



ZD1 Zoning Diagram

Must be typewritten.

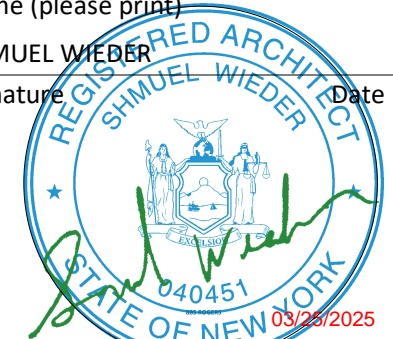
Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

Location Information	
House No(s)	1655
Street Name	1ST AVENUE
Borough	MANHATTAN
Block	1549
Lot (s)	24
BIN	1050031

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Name (please print) SHMUEL WIEDER
Signature _____ Date _____



P.E. / R.A. Seal (apply seal, then sign and date over seal)

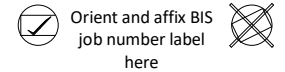
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PLAN EXAMINER SIGN AND DATE

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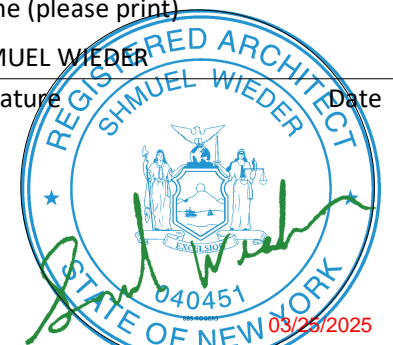
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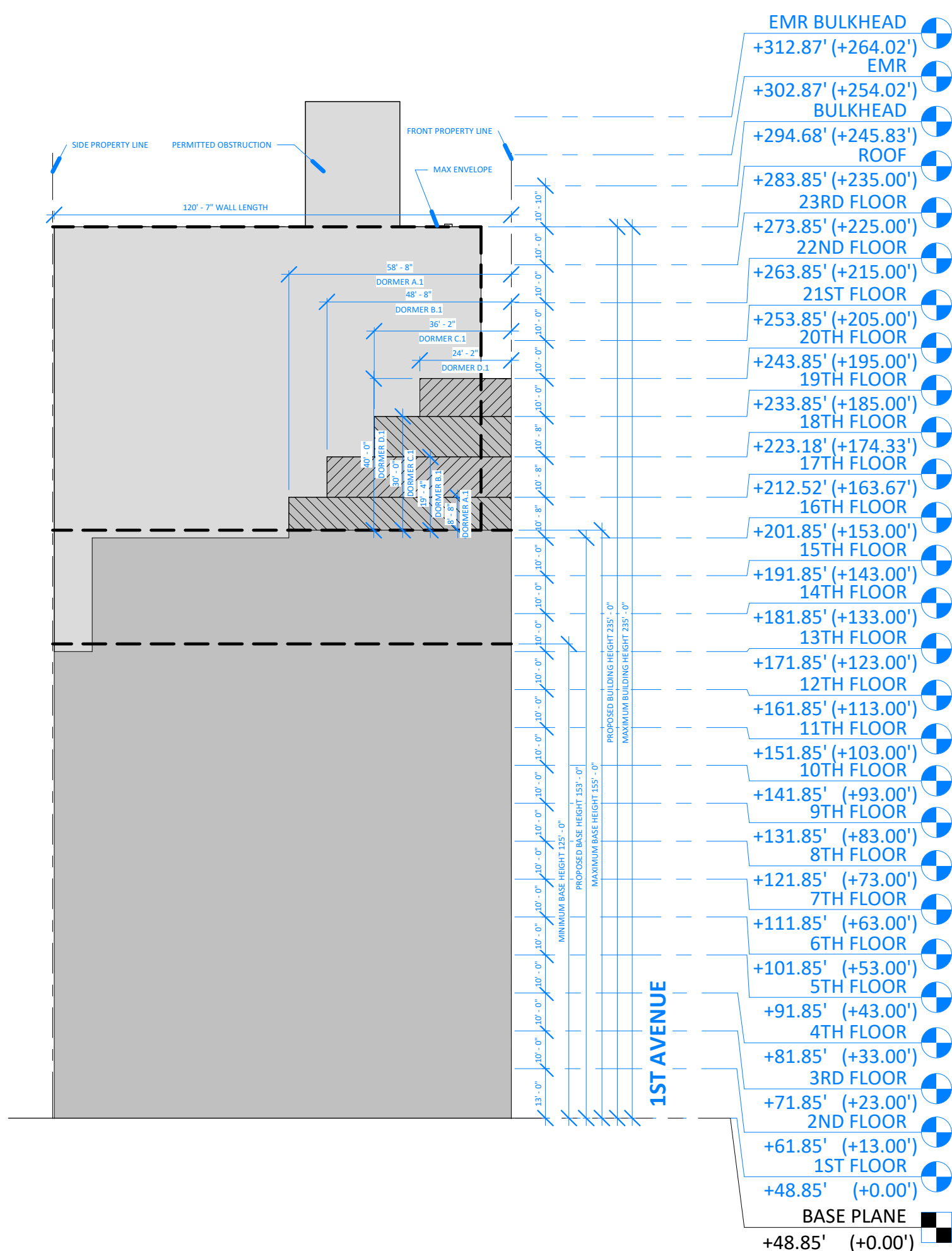


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PLAN EXAMINER SIGN AND DATE



EMR BULKHEAD	+312.87' (+264.02')
EMR	+302.87' (+254.02')
BULKHEAD	+294.68' (+245.83')
ROOF	+283.85' (+235.00')
23RD FLOOR	+273.85' (+225.00')
22ND FLOOR	+263.85' (+215.00')
21ST FLOOR	+253.85' (+205.00')
20TH FLOOR	+243.85' (+195.00')
19TH FLOOR	+233.85' (+185.00')
18TH FLOOR	+223.18' (+174.33')
17TH FLOOR	+212.52' (+163.67')
16TH FLOOR	+201.85' (+153.00')
15TH FLOOR	+191.85' (+143.00')
14TH FLOOR	+181.85' (+133.00')
13TH FLOOR	+171.85' (+123.00')
12TH FLOOR	+161.85' (+113.00')
11TH FLOOR	+151.85' (+103.00')
10TH FLOOR	+141.85' (+93.00')
9TH FLOOR	+131.85' (+83.00')
8TH FLOOR	+121.85' (+73.00')
7TH FLOOR	+111.85' (+63.00')
6TH FLOOR	+101.85' (+53.00')
5TH FLOOR	+91.85' (+43.00')
4TH FLOOR	+81.85' (+33.00')
3RD FLOOR	+71.85' (+23.00')
2ND FLOOR	+61.85' (+13.00')
1ST FLOOR	+48.85' (+0.00')
BASE PLANE	+48.85' (+0.00')

DORMER A.1:
60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
HEIGHT ABOVE MAX BASE HT= 8' - 8"
60% - 8' - 8" = 51.3%
120' - 7" (WALL LENGTH) X .50 = 61' - 11" (MAXIMUM DORMER LENGTH)
PROPOSED DORMER = 58' - 8" < 61' - 11" OK

DORMER B.1:
60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
HEIGHT ABOVE MAX BASE HT= 19' - 4"
60% - 19' - 4" = 40.7%
120' - 7" (WALL LENGTH) X .50 = 49' - 0 1/2" (MAXIMUM DORMER LENGTH)
PROPOSED DORMER = 48' - 8" < 49' - 0 1/2" OK

DORMER C.1:
60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
HEIGHT ABOVE MAX BASE HT= 30' - 0"
60% - 30' - 0" = 30.0%
120' - 7" (WALL LENGTH) X .50 = 36' - 2" (MAXIMUM DORMER LENGTH)
PROPOSED DORMER = 36' - 2" < 36' - 2" OK

DORMER D.1:
60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
HEIGHT ABOVE MAX BASE HT= 40' - 0"
60% - 40' - 0" = 20.0%
120' - 7" (WALL LENGTH) X .50 = 24' - 1 1/2" (MAXIMUM DORMER LENGTH)
PROPOSED DORMER = 24' - 1 1/2" < 24' - 1 1/2" OK

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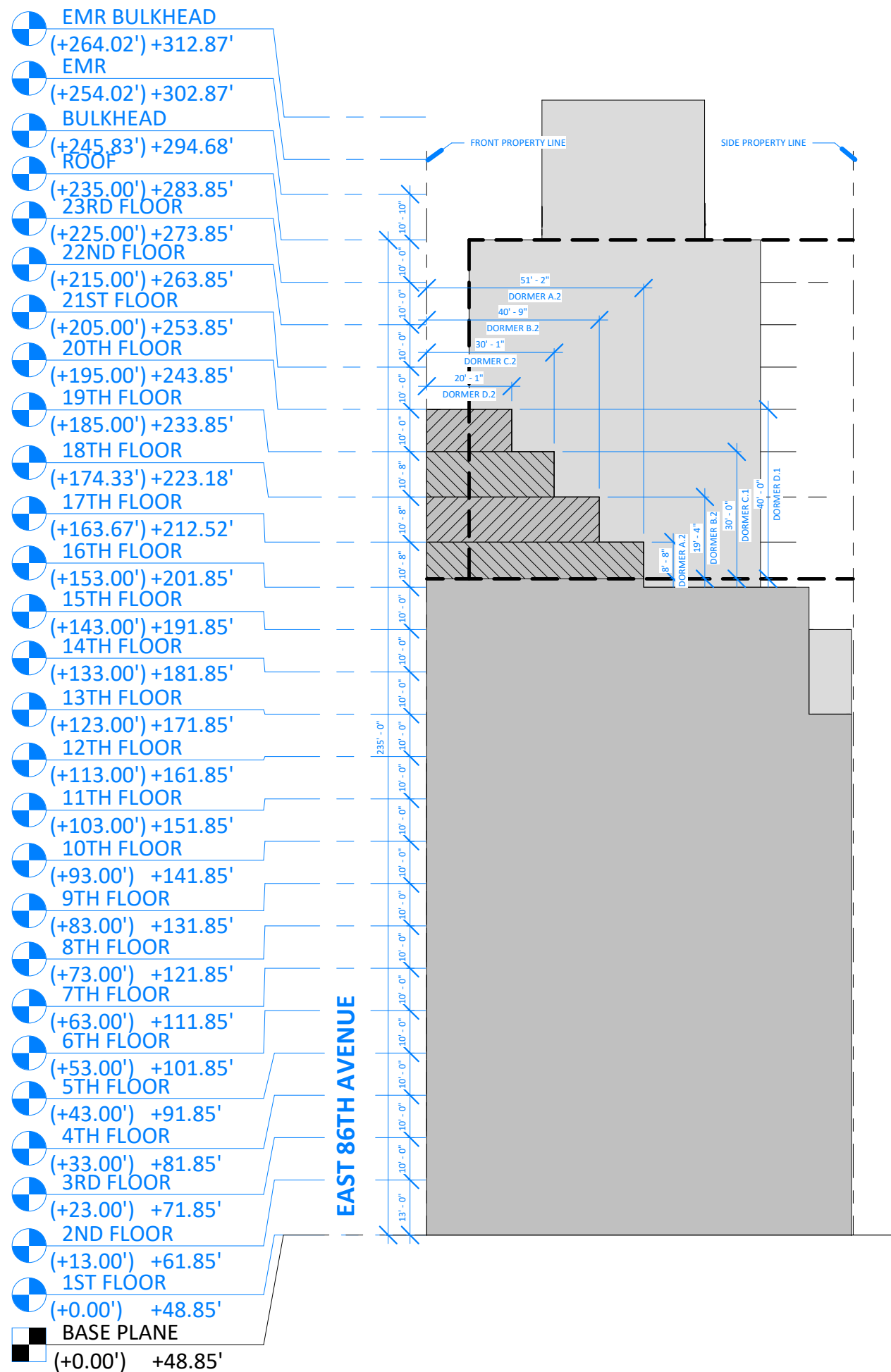
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PROPOSED BASE HEIGHT: 153' - 0"
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DORMER A.2:
 60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
 HEIGHT ABOVE MAX BASE HT= 8' - 8"
 60% - 8' - 8" = 51.3%
 100' - 3" (WALL LENGTH) X .50 = 51' - 5 1/2" (MAXIMUM DORMER LENGTH)
 PROPOSED DORMER = 51' - 2" < 51' - 5 1/2" OK

DORMER B.2:
 60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
 HEIGHT ABOVE MAX BASE HT= 19' - 4"
 60% - 19' - 4" = 40.7%
 100' - 3" (WALL LENGTH) X .50 = 40' - 9" (MAXIMUM DORMER LENGTH)
 PROPOSED DORMER = 40' - 9" < 40' - 9" OK

DORMER C.2:
 60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
 HEIGHT ABOVE MAX BASE HT= 30' - 0"
 60% - 30' - 0" = 30.0%
 100' - 3" (WALL LENGTH) X .50 = 30' - 1" (MAXIMUM DORMER LENGTH)
 PROPOSED DORMER = 30' - 1" < 30' - 1" OK

DORMER D.2:
 60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
 HEIGHT ABOVE MAX BASE HT= 40' - 0"
 60% - 40' - 0" = 20.0%
 100' - 3" (WALL LENGTH) X .50 = 20' - 0 1/2" (MAXIMUM DORMER LENGTH)
 PROPOSED DORMER = 20' - 0 1/2" < 20' - 0 1/2" OK

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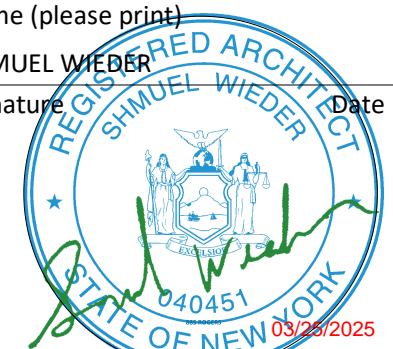
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