

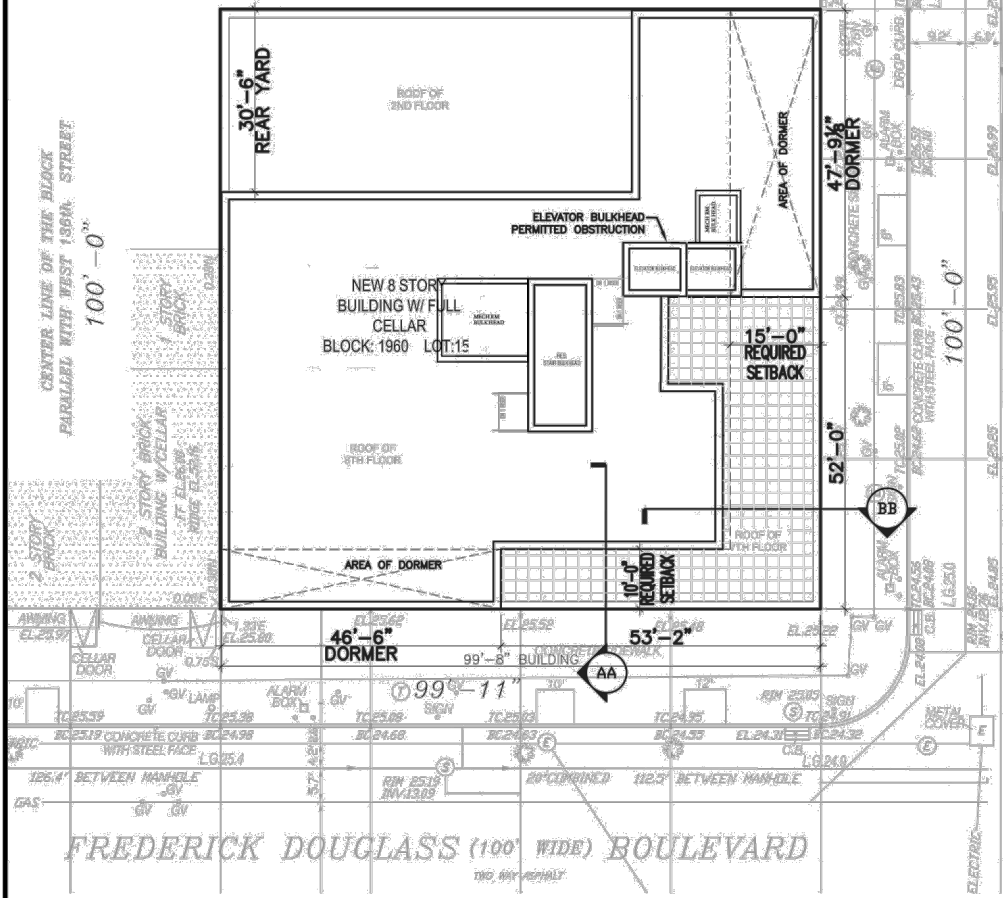
SITE PLAN DIAGRAM

SCALE: 1/32"=1'-0"
ZONING DISTRICT: C1-4/ R7-2

LOT AREA
AS PER Z.R. 23-32 MINIMUM
LOT AREA PERMITTED 3,800 S.F.
ACTUAL 9,992 SF O.K.

LOT WIDTH
AS PER Z.R. 23-32
40'-0" REQUIRED
ACTUAL PROVIDED 100'-0"

PARALLEL WITH FREDERICK DOUGLASS BOULEVARD
99'-11"



LOT COVERAGE
AS PER 23-153
100% MAX LOT COVERAGE FOR CORNER LOT
BUILDING FOOT PRINT = 9,941.35 S.F.
9,941.35 S.F. / (LOT AREA) 9,992 S.F. = 99.5% < 100% THEREFORE OK.

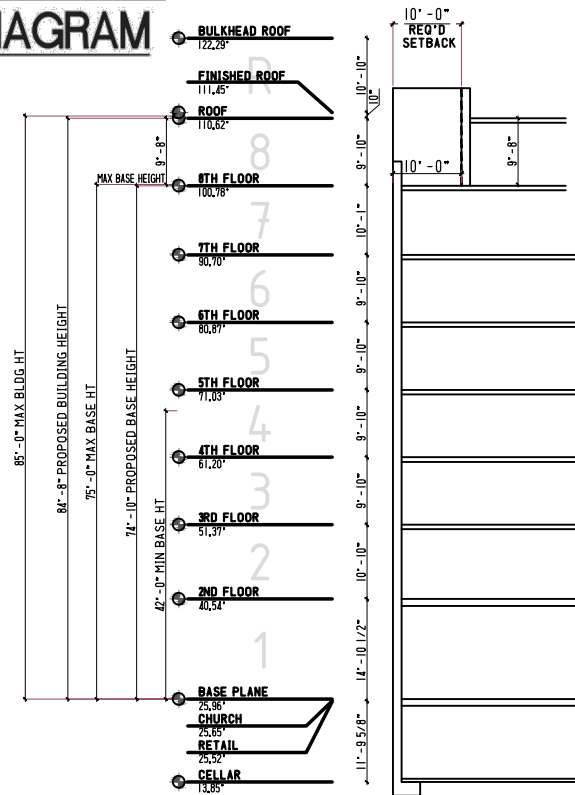
FRONT YARD
AS PER 35-51
IN C1, NO FRONT YARD SHALL BE REQUIRED.
NO FRONT YARD PROVIDED, THEREFORE OK.

REAR YARD
AS PER 33-301 C1 NO REAR YARD WITHIN 100'
NO REAR YARD REQUIRED WITHIN 100FT OF A STREET LINE.
REAR YARD OF 30'-6" PROVIDED ON 3RD-8TH FLR AT DWELLING UNITS THEREFORE OK.

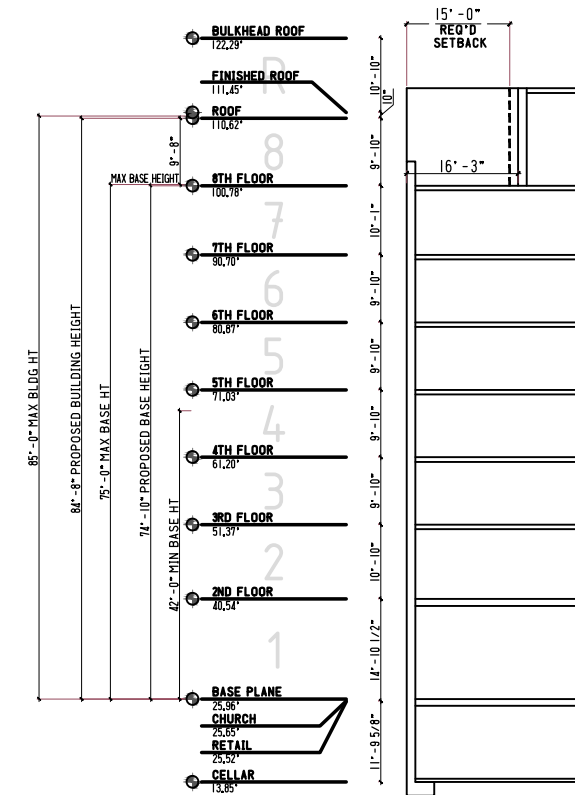
SIDE YARDS
AS PER 35-52
NO SIDE YARDS ARE REQUIRED.
NO SIDE YARDS PROVIDED, THEREFORE OK.

SECTION DIAGRAM

NOT TO SCALE



LONGITUDINAL SECTION 'AA'
NOT SCALE
AS PER Z.R. 23-662



CROSS SECTION 'BB'
NOT SCALE
AS PER Z.R. 23-662

AXONOMETRIC DIAGRAM

NOT TO SCALE

ZONING HEIGHT AT STREET WALL
ZR 23-662
R7= 75'-0" MAX BASE HEIGHT
85'-0" MAXIMUM BUILDING HEIGHT

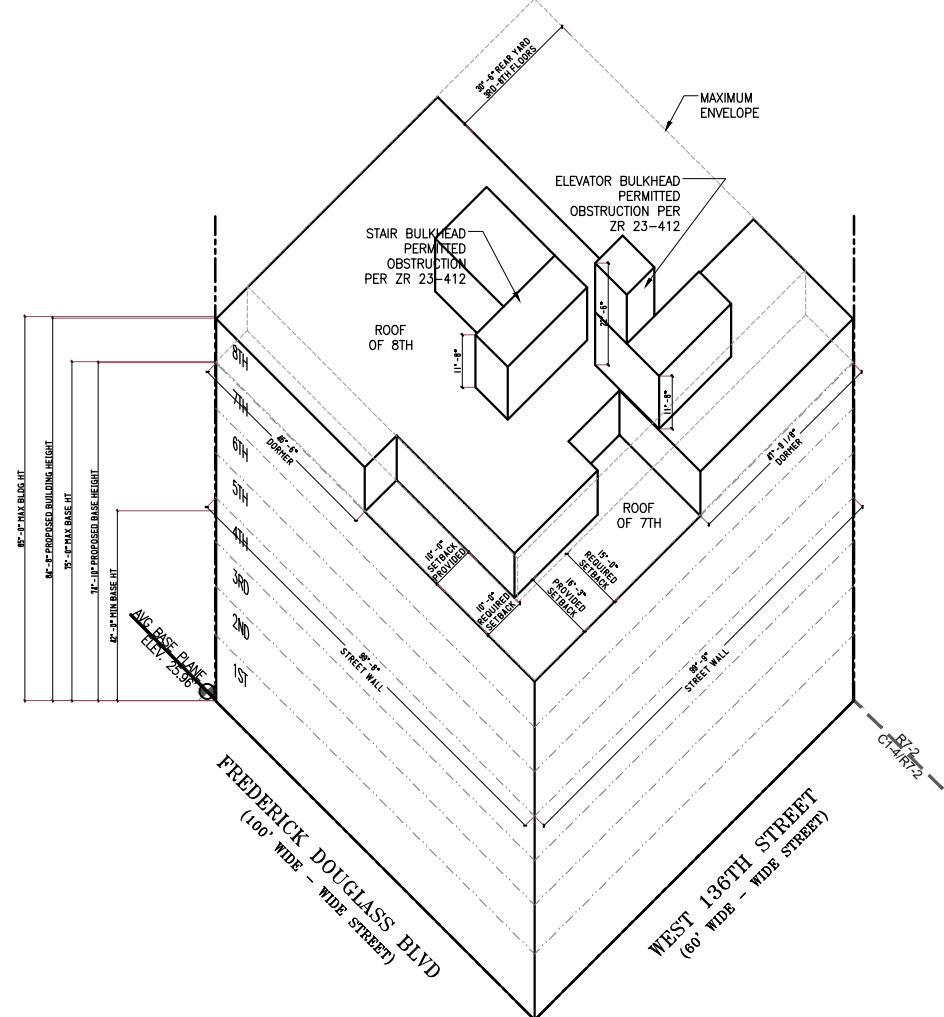
PROPOSED BASE HEIGHT = 74'-10"
PROPOSED BUILDING HEIGHT = 84'-8"

BASE PLANE ELEVATION:
TOTAL STREET WALL LENGTH
FOR BASE PLANE DETERMINATION:
99'-11" (FREDERICK) + 100'-0" (136TH) = 199'-11"

FREDERICK DOUGLASS BLVD
STREET WALL LENGTH 99'-11"
MEDIAN BASE PLANE =
(25.80' + 25.62' + 25.52' + 25.48' + 25.22') / 5
= 25.52'
99'-11" / 199'-11" = 0.50 = 50%

W 136TH STREET WALL LENGTH 100'-0"
MEDIAN BASE PLANE =
(25.22' + 25.78' + 26.39' + 27.08' + 27.54') / 5
= 26.40'
100'-0" / 199'-11" = 0.50 = 50%

(.50)(25.52) + (.50)(26.40)
= 12.76 + 13.2 = 25.96 BASE PLANE ELEVATION



ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

Location Information

House No(s) 2535
Street Name Frederick Douglass
Borough MANHATTAN
Block 1960
Lot 015
BIN 1059465

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)
HARRIET CALOS NIKAKIS
Signature _____ Date 9/15/2025



P.E. / R.A. Seal (apply seal when sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



ZD1 Zoning Diagram

Must be typewritten.
Sheet 01 of 01

1 Applicant Information Required for all applications.

Last Name NIKAKIS	First Name HARRIET	Middle Initial C
Business Name HCN DESIGN & CONSULTING		Business Telephone 7182042765
Business Address 36-03 DITMARS BLVD		
City ASTORIA State NY Zip 11105		Business Fax 7182042768
E-Mail hnikakis@hcnarchitects.com		Mobile Telephone 9176740626
		License Number 030899

2 Additional Zoning Characteristics Required as applicable.

Dwelling Units 59	Parking area	sq. ft.	Parking Spaces: Total	Enclosed
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3 BSA and/or CPC Approval for Subject Application Required as applicable.

Board of Standards & Appeals (BSA)

- Variance Cal. No. _____ Authorizing Zoning Section 72-21
- Special Permit Cal. No. _____ Authorizing Zoning Section _____
- General City Law Waiver Cal. No. _____ General City Law Section _____
- Other Cal. No. _____

City Planning Commission (CPC)

- Special Permit ULURP No. _____ Authorizing Zoning Section _____
- Authorization App. No. _____ Authorizing Zoning Section _____
- Certification App. No. _____ Authorizing Zoning Section _____
- Other App. No. _____

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
Cellar	9,942.00	4A, 2A	2,383.00	7,559.00			0.00
1st floor	9,941.34	6A,4A,2A	1,079.04	6,495.27	2,367.03		0.99
2nd floor	9,941.08	VII,2A	347.42		9,566.22		0.99
3rd floor	7,876.60	VII,2A	6,137.12		62.63		0.62
4th floor	7,875.92	2A	6,758.77		62.63		0.68
5th floor	7,875.92	2A	6,754.81				0.68
6th floor	7,875.92	2A	6,754.81				0.68
7th floor	7,875.92	2A	6,754.81				0.68
8th floor	6,482.90	2A	5,413.84				0.54
Roof	899.68	2A	81.71				0.01
Bulkhead	422.89	2A	0.00				0.00

ZD1

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
Totals	77,010.77		39,965.76	6,495.27	12,058.51		5.86

Total Zoning Floor Area	58,519.54
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