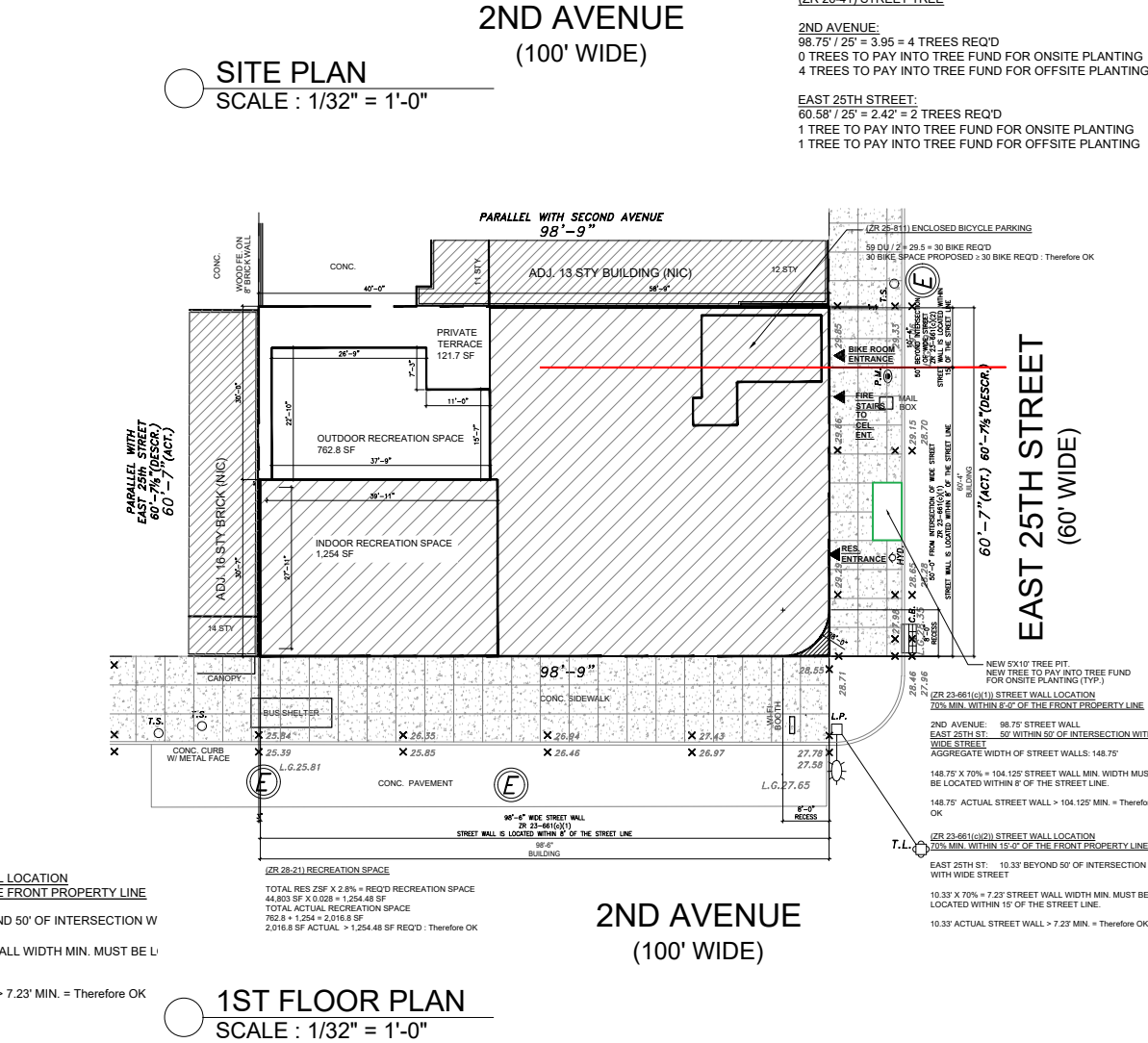
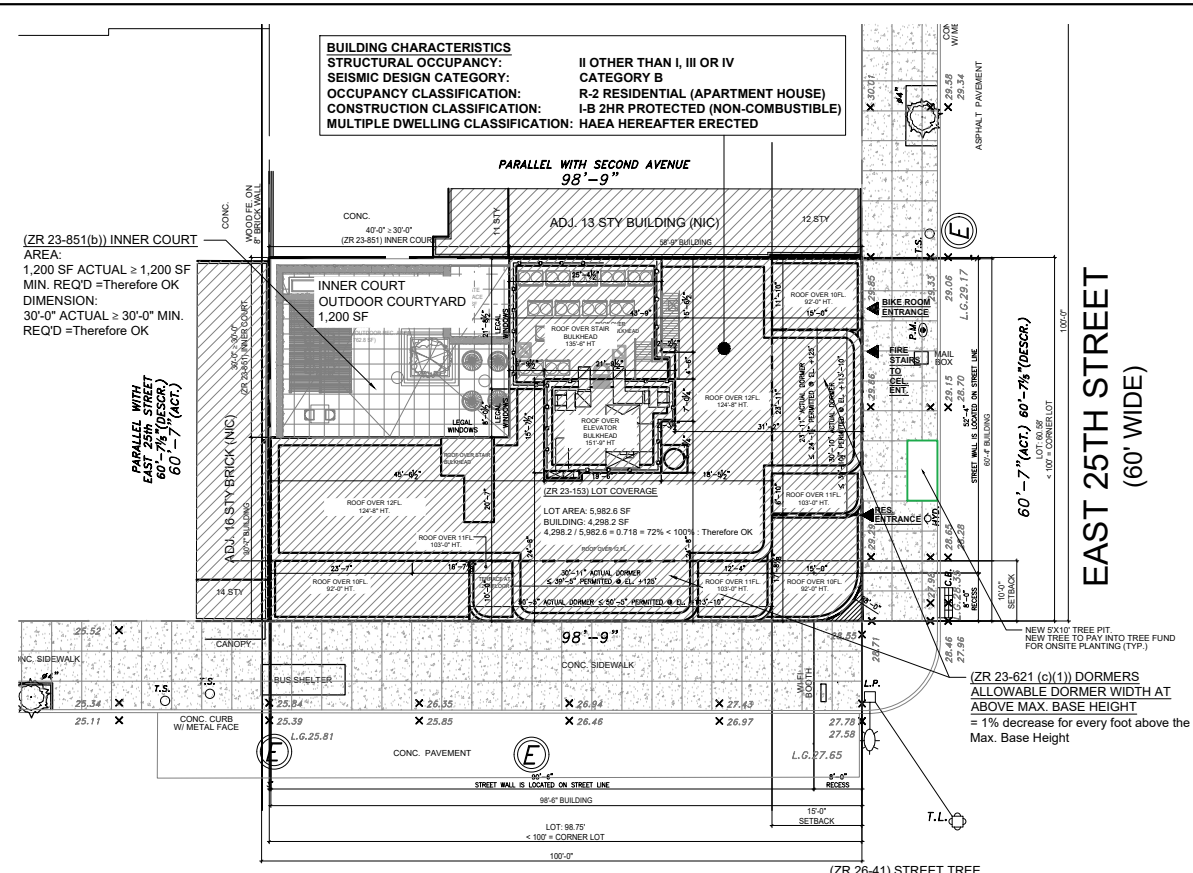
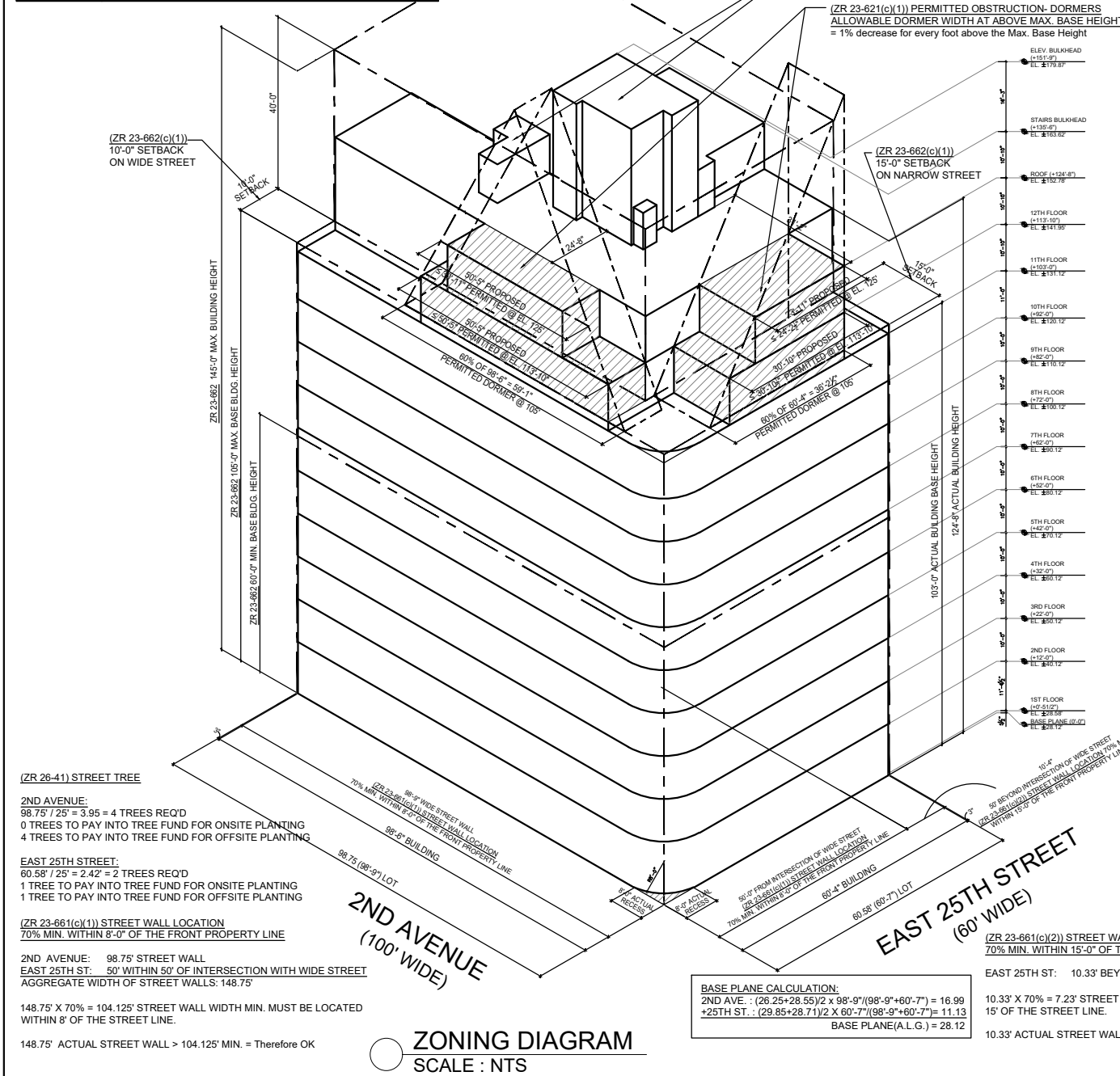


SECTION ZR		ZONING ANALYSIS	
(34-112)	BLOCK 905 LOTS 30, 32, 34 MAP 80 ZONING DISTRICTS C1-8A RESIDENTIAL DISTRICTS R9A	HEIGHT & SETBACK (Z3-661 (C))	STREET WALL LOCATION R9A R8X R9A R10A R10X 98.75' (2ND AVE) + 50' (EAST 25TH STREET, WITHIN 50' OF INTERSECTION WITH WIDE STREET) AGGREGATE WIDTH OF STREET WALLS: 148.75' 148.75' X 70% = 104.125' STREET WALL WIDTH MIN. MUST BE LOCATED WITHIN 8' OF THE STREET LINE. PROPOSED 148.75' ACTUAL STREET WALL > 104.125' MIN. = Therefore OK
(23-011)	TOTAL LOT AREA 5,982.6 SF LOT 30: 2,393.04 SF LOT 32: 2,393.04 SF LOT 34: 1,196.52 SF	(23-661 (C)(2))	10.33' (EAST 25TH STREET, BEYOND 50' OF INTERSECTION WITH WIDE STREET) 10.33' X 70% = 7.23' STREET WALL WIDTH MIN. MUST BE LOCATED WITHIN 15' OF THE STREET LINE. PROPOSED 10.33' ACTUAL STREET WALL > 7.23' MIN. = Therefore OK
(23-153)	PERMITTED USES R9A QUALITY HOUSING PROGRAM	(23-662)	MAX. HEIGHT OF BUILDING WITH QUALITY HOUSING BUILDINGS MIN. BASE HEIGHT = 60' MAX. BASE HEIGHT = 105' MAX. HEIGHT OF BUILDING = 145' SETBACK REQUIREMENT = 10' MIN. FROM STREET WALL AT NOT LOWER THAN MIN. BASE HEIGHT OR HIGHER THAN MAX. BASE HEIGHT (WIDE STREET- 2ND AVE) = 15' MIN. FROM STREET WALL NOT LOWER THAN MIN. BASE HEIGHT OR HIGHER THAN MAX. BASE HEIGHT (NARROW STREET- E 25 ST) PROPOSED 60' MIN. BASE HEIGHT < 103'-0" ACTUAL BASE HEIGHT < 105' MAX. BASE HEIGHT = Therefore OK 124'-8" ACTUAL BUILDING HEIGHT < 145'-0" MAX. BUILDING HEIGHT = Therefore OK 2ND AVE (WIDE ST): 10' SETBACK PROVIDED @ 103' ACTUAL BASE HEIGHT = Therefore OK EAST 25TH ST (NARROW ST): 15' SETBACK PROVIDED @ 103' ACTUAL BASE HEIGHT = Therefore OK
(23-851(B))	MIN. REQUIRED AREA = 1,200 SF MIN. REQUIRED DIMENSION = 30'-0" PROPOSED 1,200 SF ACTUAL > 1,200 SF MIN. AREA = Therefore OK 30'-0" ACTUAL > 30'-0" MIN. DIMENSION = Therefore OK		
(23-45) (23-462 (C)) (23-471) (23-621 (C)(1))	FRONT YARDS FOR RES. = NONE REQUIRED SIDE YARDS FOR RES. = NONE REQUIRED REAR YARDS FOR RES. = 30' EXCEPT NONE REQUIRED WITHIN 100 FEET OF A CORNER (23-641) PERMITTED OBSTRUCTION IN CERTAIN DISTRICTS - DORMERS PROPOSED 2ND AVENUE = 50'-5" PROPOSED DORMER < 50'-5" PERMITTED @ EL. +113'-10" = THEREFORE OK = 30'-11" PROPOSED DORMER < 30'-5" PERMITTED @ EL. +125' = THEREFORE OK EAST 25TH STREET = 30'-10" PROPOSED DORMER < 30'-10" PERMITTED @ EL. +113'-10" = THEREFORE OK = 23'-11" PROPOSED DORMER < 24'-1" PERMITTED @ EL. +125' = THEREFORE OK		



ZD1 Zoning Diagram
Must be typewritten.

Orientation and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s)	429
Street Name	2ND AVENUE
Borough	MANHATTAN
Block	905
Lot	30
BIN	1019792

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) ANTHONY MORALI

Signature ANTHONY MORALI Date 06.12.25



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc #

PLAN EXAMINER SIGN AND DATE

