



LEGEND

C6-4 & C6-5 (R10) QUALITY HOUSING PROGRAM

PROPERTY LINE

DISTRICT BOUNDARY

PROPOSED BUILDING

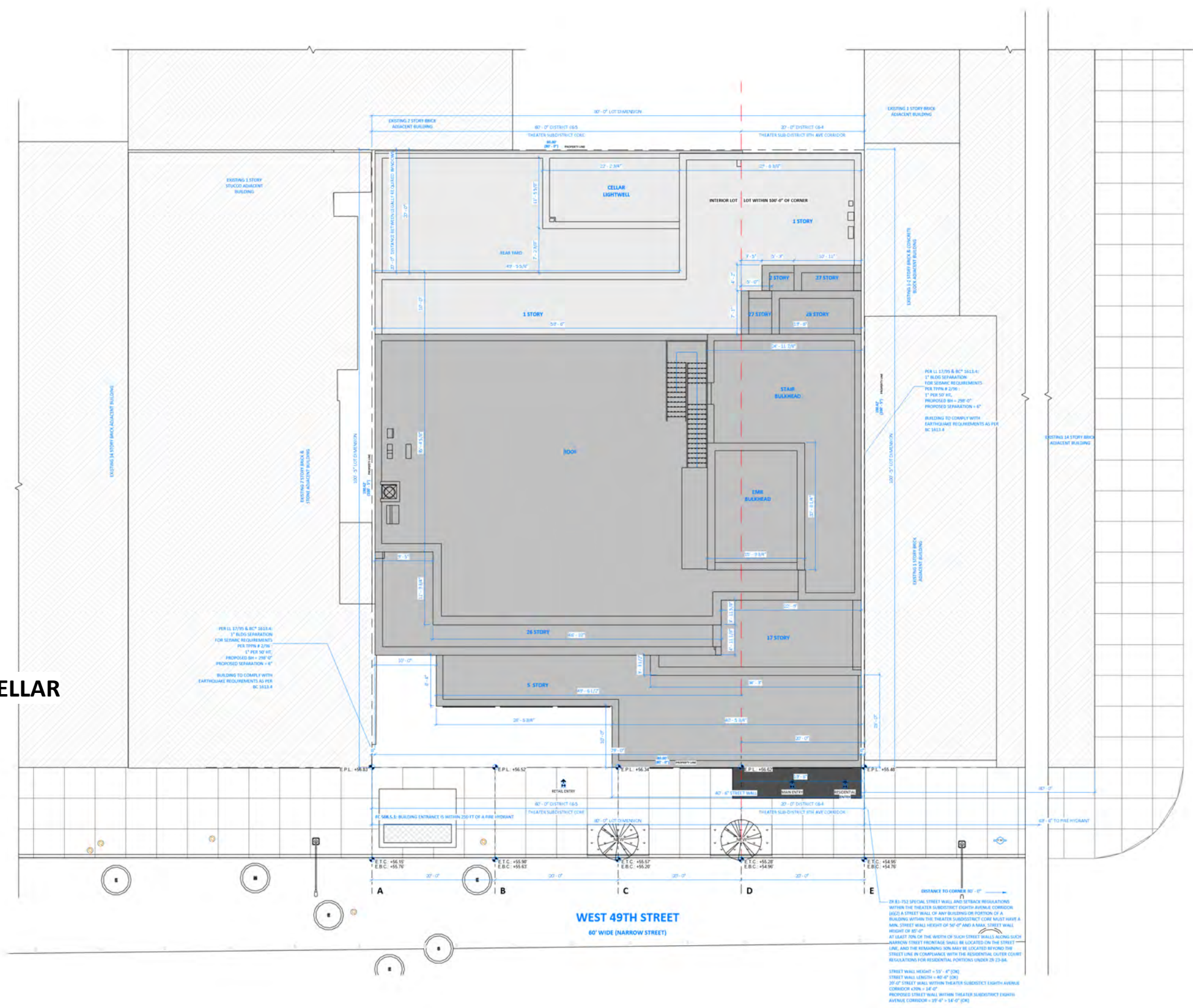
EXISTING BUILDING

EXISTING TREE

PROPOSED TREE

250 WEST 49TH STREET NEW YORK, NY 10019 PROPOSED 28 STORY + CELLAR MIXED-USE BUILDING

BLOCK: 1020
LOT: 59
OCCUPANCY CLASS: R-2, M
USE GROUP: II, VI
138 CLASS 'A' DWELLING UNITS
CONSTRUCTION CLASS: IB
STRUCTURAL OCCUPANCY: II
FIRE DISTRICT: INSIDE
BUILDING HEIGHT: 298' - 0"
LOT AREA: 8,034 SF



1 SITE PLAN - ZD1 SCALE: 12" = 1'-0"



ZD1 Zoning Diagram *Must be typewritten.*

Orient and affix BIS
job number label
here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

Location Information

House No(s)	250
Street Name	WEST 49TH STREET
Borough	BROOKLYN
Block	1020
Lot (s)	59
BIN	1024785

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications of documents with the Department.

Name (please print)
SHMUEL WIEDER

Signature  Date
03/19/2025

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SPECIAL MIDTOWN DISTRICT

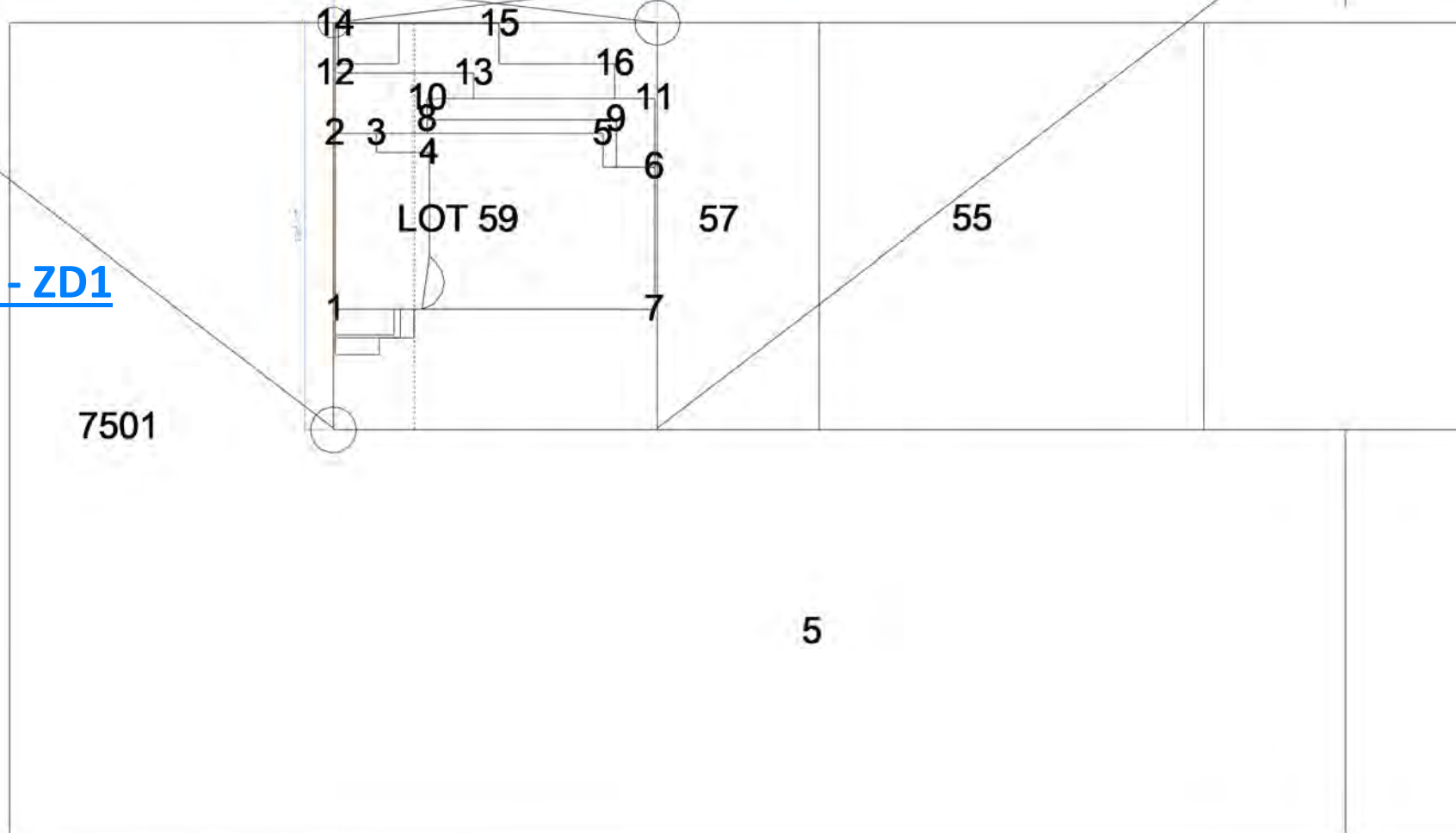
[TE] Theatre Subdistrict Eight Ave Corridor
C6-4

[TC] Theatre Subdistrict Core
C6-5

West 49th Street (60' narrow)

VP1
Z-102

VP2
Z-103



7501

5

West 48th Street (60' narrow)

2

VANTAGE POINT SITE PLAN - ZD1

SCALE: 12" = 1'-0"

LOT AREA : 8,034 SQ.FT.

ZR 23-362(a), 23-363(b) LOT COVERAGE

LOT COVERAGE ALLOWABLE:
WITHIN 100FT OF CORNER: 100% (2,008 SF)
INTERIOR LOT AREA: 70% (4,820 SF)

LOT COVERAGE PROPOSED:
WITHIN 100FT OF CORNER: 97% (1,948 SF)
INTERIOR LOT AREA: 62% (3,719 SF)

ZR 23-342(a)(1), 35-53 REAR YARDS

PROPOSED REAR YARD: 30' - 0"
REQUIRED REAR YARD: 30' - 0"

ZR 81-25 REQUIRED SETBACKS

ALTERNATE REGULATIONS METHOD USED

ZR 23-431, 81-751(c), 81-43, 81-721, 81-752(a)(2) STREET WALL

WITHIN THE THEATER SUBDISTRICT CORE: 49'-6 1/2"
WITHIN THE THEATER SUBDISTRICT 8TH AVE CORRIDOR: 19'-6"
STREET WALL HEIGHT WITHIN 15' OF STREET LINE: 55' - 4"

ZR 81-27 BUILDING HEIGHT

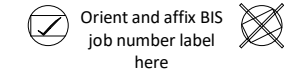
BUILDING PLOTTED ON DAYLIGHT EVALUATION CHARTS
PROPOSED BUILDING HEIGHT: 298' - 0"



Buildings

ZD1 Zoning Diagram

Must be typewritten.



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Yes No

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Street Name WEST 49TH STREET
Borough BROOKLYN
Block 1020
Lot (s) 59
BIN 1024785

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AXONOMETRIC DIAGRAM

NOT TO SCALE

LEGEND

-  MAXIMUM BUILDING ENVELOPE
-  PROPOSED BUILDING
-  PERMITTED OBSTRUCTION

LOT AREA : 8,034 SQ.FT.

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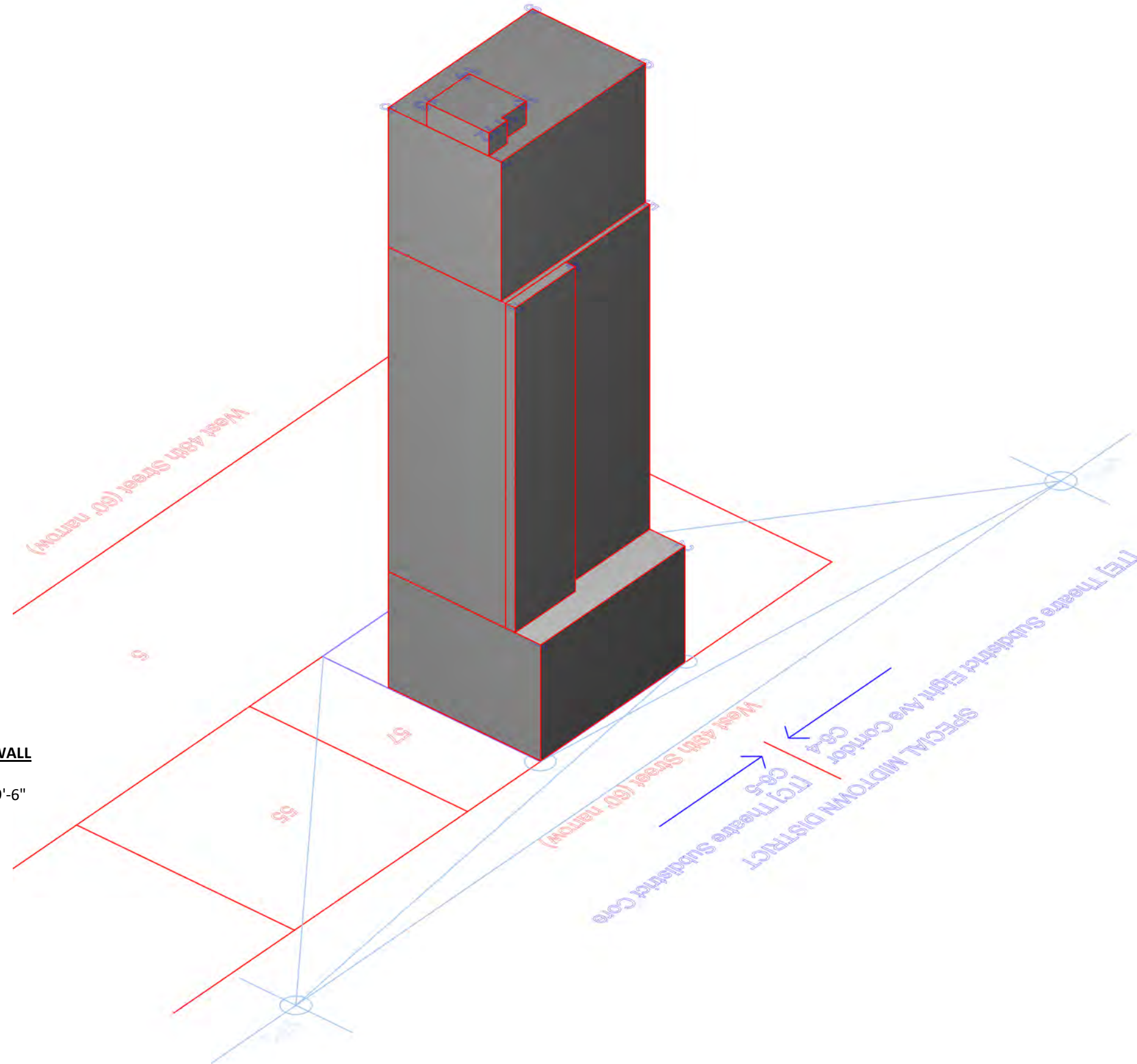
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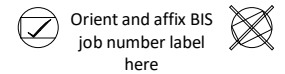
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BUILDING PLOTTED ON DAYLIGHT EVALUATION CHARTS
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ZD1 Zoning Diagram

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Yes No

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 Borough BROOKLYN
 Block 1020
 Lot (s) 59
 BIN 1024785

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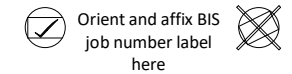
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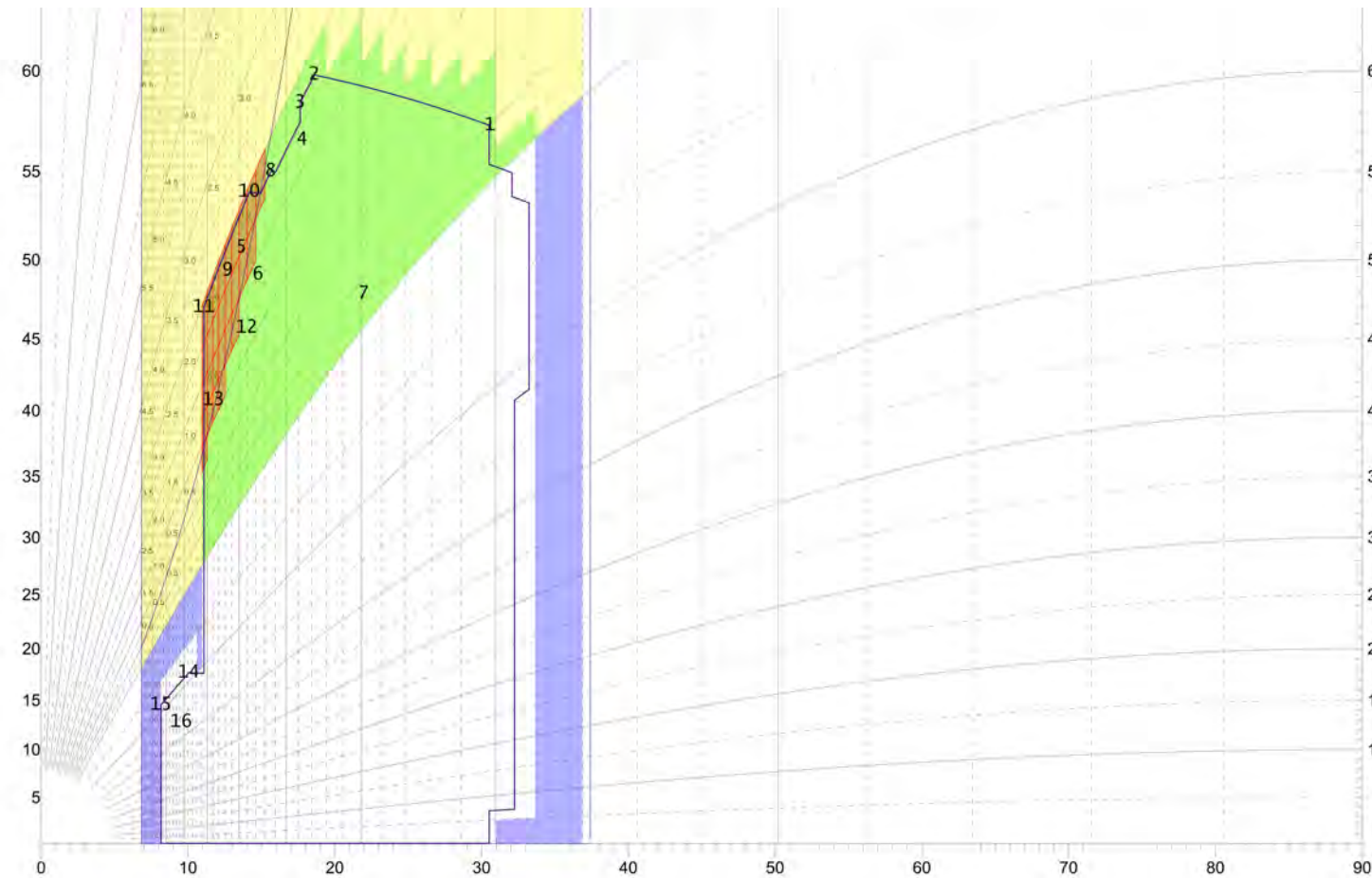


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PLAN EXAMINER SIGN AND DATE



DAYLIGHT EVALUATION DIAGRAM - 60 FOOT STREET

Scoring Summary (Vantage point 1)

Section		Score
81-274(b)	Squares above 70°	-18.90
81-274(c)	Squares below 70°	4.17
81-274(d)	Profile Encroachment penalty	-3.05
	Total Blockage	-17.78
81-274(e)	Available Daylight Squares	84.31
81-274(f)	Remaining daylight	66.53
81-274(g)	Daylight Score	78.91%

Profile Penalties

0.2 x 2.00 = 0.40
 1.0 x 1.50 = 1.50
 0.7 x 1.00 = 0.70
 0.9 x 0.50 = 0.45

Section 81-273(d) Street 923 v1 VP 1

Far Lot Line	30.00	250.00	0.12	6.8
Near Lot Line	130.00	170.00	0.76	37.4

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle	[H]	[S]	Tan[H/S]	Angle
1	100.61	170.42	0.59	30.6	309.33	100.61	3.07	72.0
2	57.38	170.42	0.34	18.6	309.33	57.38	5.39	79.5
3	57.38	180.66	0.32	17.6	309.33	57.38	5.39	79.5
4	62.12	193.71	0.32	17.8	309.33	62.12	4.98	78.6
5	57.38	236.58	0.24	13.6	298.00	57.38	5.19	79.1
6	65.72	249.42	0.26	14.8	298.00	65.72	4.53	77.6
7	100.61	249.42	0.40	22.0	298.00	100.61	2.96	71.3
8	54.02	193.16	0.28	15.6	286.67	54.02	5.31	79.3
9	54.02	239.92	0.23	12.7	286.67	54.02	5.31	79.3
10	48.78	193.16	0.25	14.2	273.33	48.78	5.60	79.9
11	48.78	249.41	0.20	11.1	273.33	48.78	5.60	79.9
12	42.49	170.42	0.25	14.0	180.33	42.49	4.24	76.7
13	42.49	204.66	0.21	11.7	180.33	42.49	4.24	76.7
14	30.19	170.42	0.18	10.0	55.33	30.19	1.83	61.4
15	30.19	210.90	0.14	8.1	55.33	30.19	1.83	61.4
16	40.19	239.46	0.17	9.5	55.33	40.19	1.38	54.0

LOT AREA : 8,034 SQ.FT.

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LOT COVERAGE PROPOSED:
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 INTERIOR LOT AREA: 62% (3,719 SF)

ZR 23-342(a)(1), 35-53 REAR YARDS

PROPOSED REAR YARD: 30' - 0"
 REQUIRED REAR YARD: 30' - 0"

ZR 81-25 REQUIRED SETBACKS

ALTERNATE REGULATIONS METHOD USED

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ZR 81-27 BUILDING HEIGHT

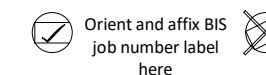
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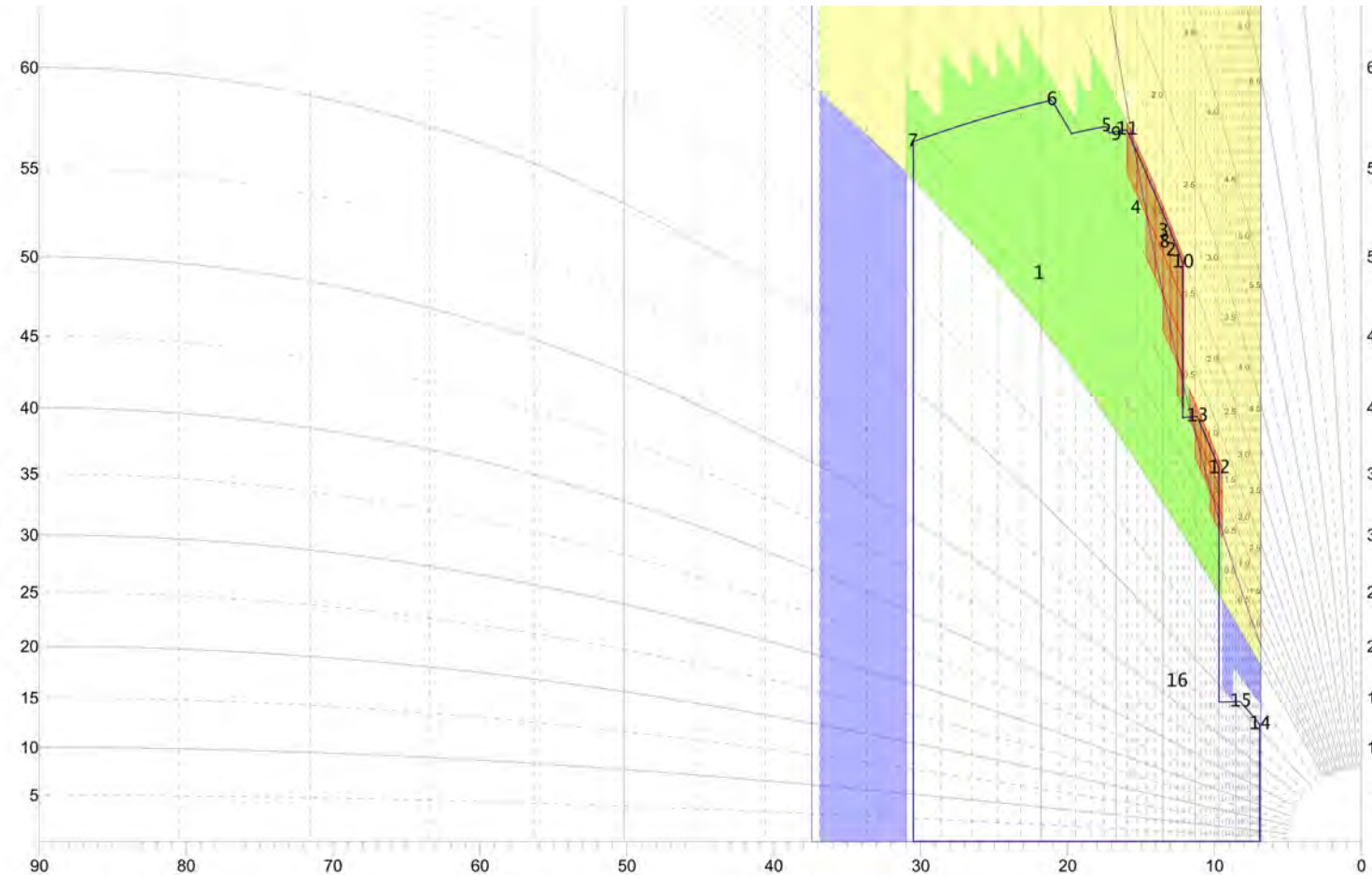


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ZR 81-27 BUILDING HEIGHT

BUILDING PLOTTED ON DAYLIGHT EVALUATION CHARTS
 PROPOSED BUILDING HEIGHT: 298' - 0"

Scoring Summary (vantage point 2)

Section		Score
81-274(b)	Squares above 70°	-21.00
81-274(c)	Squares below 70°	1.35
81-274(d)	Profile Encroachment penalty	-2.85
	Total Blockage	-22.50
81-274(e)	Available Daylight Squares	84.31
81-274(f)	Remaining daylight	61.81
81-274(g)	Daylight score	73.31%

Profile Penalties

0.7 x 1.50 = 1.05
 1.1 x 1.00 = 1.10
 1.4 x 0.50 = 0.70

Section 81-273(d) Street 923 v2 vp 2

Far Lot Line	-30.00	250.00	-0.12	6.8
Near Lot Line	-130.00	170.00	-0.76	37.4

Pt	Dist[S]	Dist[D]	Tan[S/D]	Angle [H]	[S]	Tan[H/S]	Angle
1	100.61	249.58	0.40	22.0	309.33	100.61	72.0
2	57.38	249.58	0.23	12.9	309.33	57.38	79.5
3	57.38	239.34	0.24	13.5	309.33	57.38	79.5
4	62.12	226.29	0.27	15.3	309.33	62.12	78.6
5	57.38	183.42	0.31	17.4	298.00	57.38	79.1
6	65.72	170.58	0.39	21.1	298.00	65.72	77.6
7	100.61	170.58	0.59	30.5	298.00	100.61	71.3
8	54.02	226.84	0.24	13.4	286.67	54.02	79.3
9	54.02	180.08	0.30	16.7	286.67	54.02	79.3
10	48.78	226.84	0.22	12.1	273.33	48.78	79.9
11	48.78	170.59	0.29	16.0	273.33	48.78	79.9
12	42.49	249.58	0.17	9.7	180.33	42.49	76.7
13	42.49	215.34	0.20	11.2	180.33	42.49	76.7
14	30.19	249.58	0.12	6.9	55.33	30.19	61.4
15	30.19	209.10	0.14	8.2	55.33	30.19	61.4
16	40.19	180.54	0.22	12.6	55.33	40.19	54.0

