

ADDRESS: 343 HIMROD STREET, BROOKLYN, NY 11237

BLOCK: 3270
LOT: 24
MAP: 13b
ZONE: R6, C1-3(R6)
C.B.: 304
BIN#: 3074538
C OF O: NEW

USE GROUP: II, IV, VI
OCC. GROUP: B, M, R-2
CONSTR. CL: I-B (columns I-A, as per 2022 BC 403.2.1.1)
FIRE INDEX: 2

OUTSIDE INCLUSIONARY HOUSING DESIGNATED AREA
OUTSIDE FLOOD A-ZONE
WITHIN 200 FEET RADIUS OF MTA SUBWAY LINES

Zoning Lot Size: 125'-0" x 100'-0" irregular
Lot Area in R6 ZD: 15,000.0 sf
Lot Area in C1-3(R6) ZD: 1,500.0 sf
Total Zoning Lot Area: 16,500,0 sf

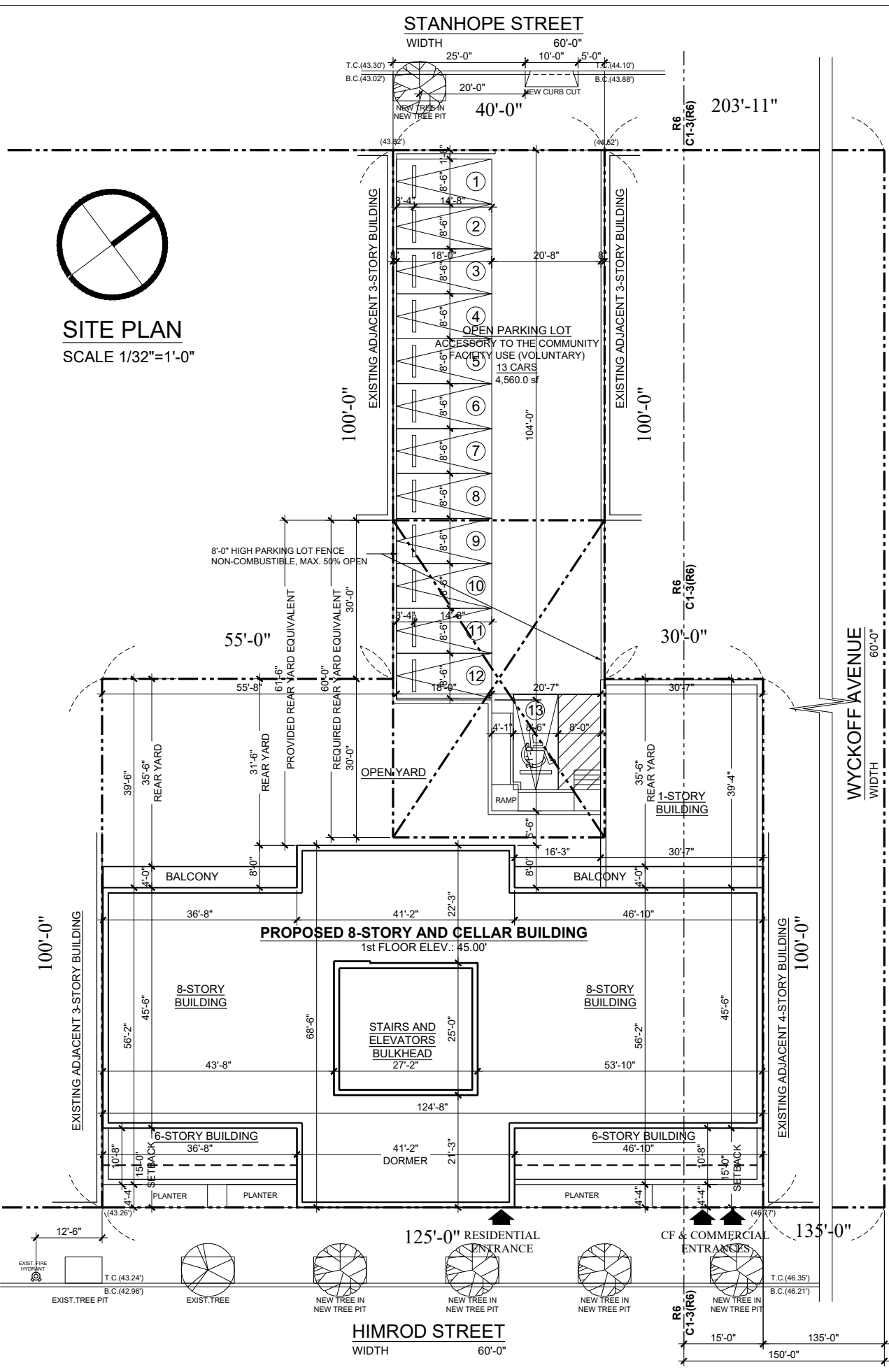
23-22 Maximum permitted Residential Floor Area
Maximum permitted Standard Floor Area (FAR 2.20): 16,500 x 2.20 = 36,300.0 sf
Maximum permitted Floor Area with Qualifying Affordable Housing (FAR 3.90): 16,500.0 x 3.90 = 64,350.0 sf
24-11 Maximum permitted Community Facility Floor Area
Maximum permitted CF Floor Area (FAR 4.80): 16,500 x 4.80 = 79,200.0 sf
35-33 Maximum floor area and special provisions for mixed buildings
Maximum permitted FAR for Community Facility Use: 1.00
Maximum permitted Community Facility portion Floor Area: 16,500.0 x 1.00 = 16,500.0 sf
33-12 Maximum permitted Commercial Floor Area
Maximum permitted Commercial Floor Area (FAR 2.00): 1,500.0 x 2.00 = 3,000.0 sf

Proposed Floor Areas
Proposed Commercial Floor Area: 1,313.9 sf < 3,000.0 sf, therefore OK
Proposed Community Facility Floor Area: 1,420.7 sf < 16,500.0 sf, therefore OK
Proposed Residential Floor Area: 47,824.0 sf < 64,350.0 sf, therefore OK
Proposed Total Building Floor Area: 50,558.5 sf < 79,200.0 sf, therefore OK
Required Affordable Floor Area: 47,824.0 - 36,300.0 = 11,524.0 sf
Provided Affordable Floor Area: 11,631.15 sf (See dwg Z-007 for calculations) >11,524.0 sf, therefore OK

23-322 Front Yard
No Front Yard required.
No Front Yard proposed.
23-334 Side Yards
No side yards required, if provided: 5'-0" min.
No Side yards proposed.
23-344 Rear Yard
30'-0" Rear Yard required for portions of the building above 75'-0" in height.
Proposed Rear Yard: 31'-6", therefore OK.
24-33 / 33-23 Permitted Obstruction in Required Yards (Non-Residential portion)
(2) Any portion of a building used for any permitted use other than residences, provided that the height of such building shall not exceed one story, nor in any event 23 feet above curb level.

23-362 Lot Coverage
Maximum permitted Lot Coverage (80%): 16,500.0 x 0.80 = 13,200.0 sf
Proposed Lot Coverage: 7,760.3 sf < 13,200.0 sf, therefore OK

23-412 Permitted obstructions in Building Height - bulkhead (c)
(2) the aggregate area of such obstructions, including any required screening, does not exceed 50 percent of the lot coverage of the building and the height shall not exceed 15 feet above the maximum permitted height.
Proposed Bulkhead Area: 681.4 sf (9% of the Lot Coverage of the building)
Proposed Bulkhead Height above Max. Building Height: 12'-7"
23-413 Permitted obstructions in Building Height - dormers (b)
Proposed dormer height above Max. Base Height: 19'-7 1/2"
Street Wall Width: 124'-8"
Maximum permitted dormers width: 124'-8" x (60% - 19.6%) = 50'-4 3/8"
Proposed dormer width: 41'-2", therefore OK



ZD1 Zoning Diagram
Must be typewritten.

☒ Orient and affix BIS
job number label here ☒

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
☐ Yes ☐ No

Location Information

House No(s) 343
Street Name HIMROD STREET

Borough BROOKLYN
Block 3270
Lot 24
BIN 3074538

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)

NATALIYA DONSKOY, R.A.

Signature Date

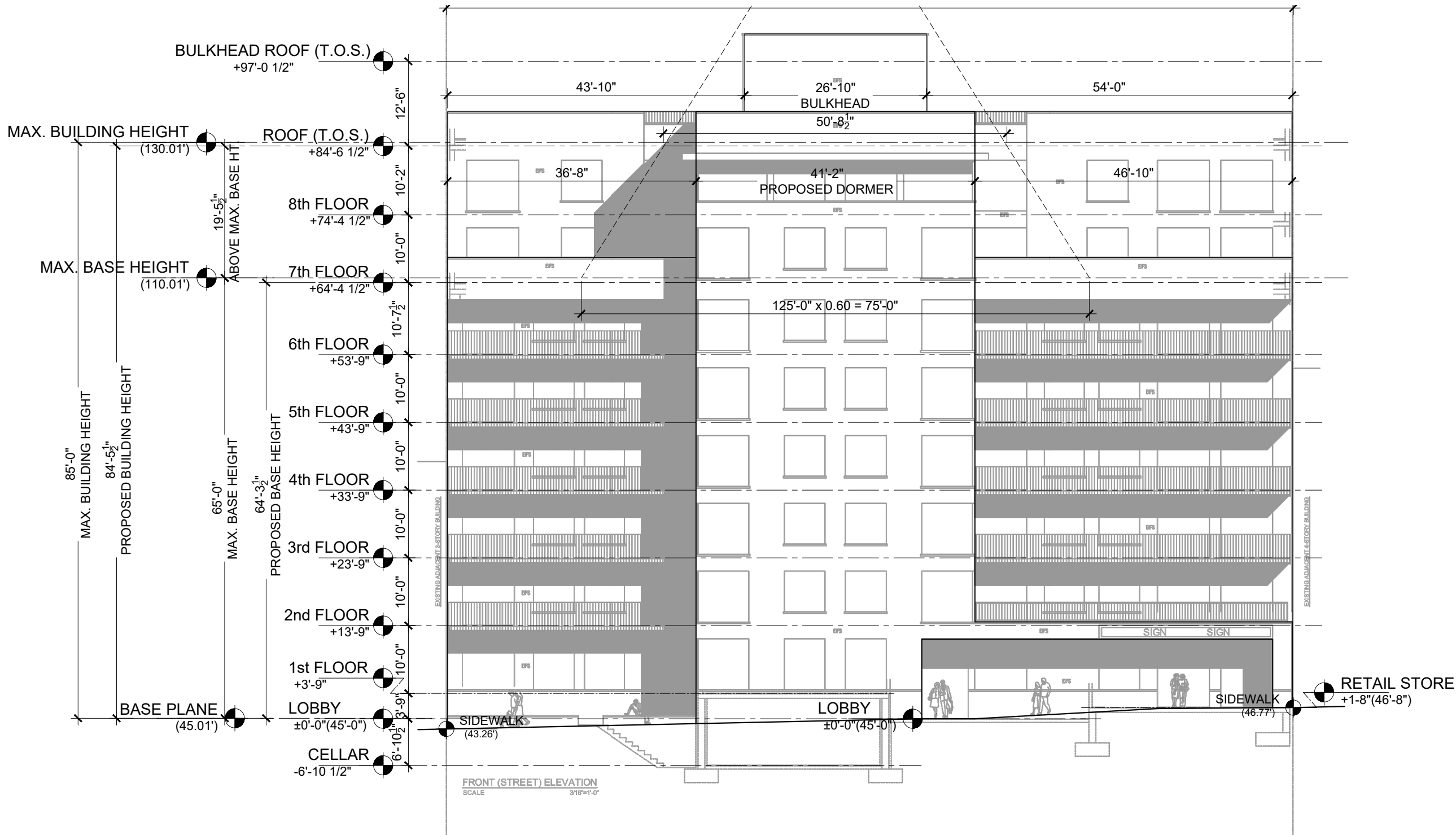
08-11-2025

P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc #

PLAN EXAMINER SIGN AND DATE



BUILDING HEIGHT DIAGRAM (HIMROD STREET)
SCALE 1/16"=1'-0"

23-431 Street Wall Location (b)(2)
70% of the Street Wall width shall be within 10 feet of a Street Line.
Proposed Street Wall: 100% within 10 feet of a Street Line.
23-432 Height and Setback Regulations (for Qualifying Affordable Housing)
Base Plane calculations
 $(43.26' + 46.77') / 2 = 45.01'$
Minimum Base Height: 45'-0"
Maximum Base Height: 65'-0" (110.01')
Maximum Building Height: 85'-0" (130.01')
Required Setback: 15'-0"
Proposed Base Height: 64'-4 1/2" (109.38'), therefore OK
Proposed Building Height: 84'-8 1/2" (129.71'), therefore OK
Proposed Setback: 15'-0"



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Name (please print) NATALYA A.

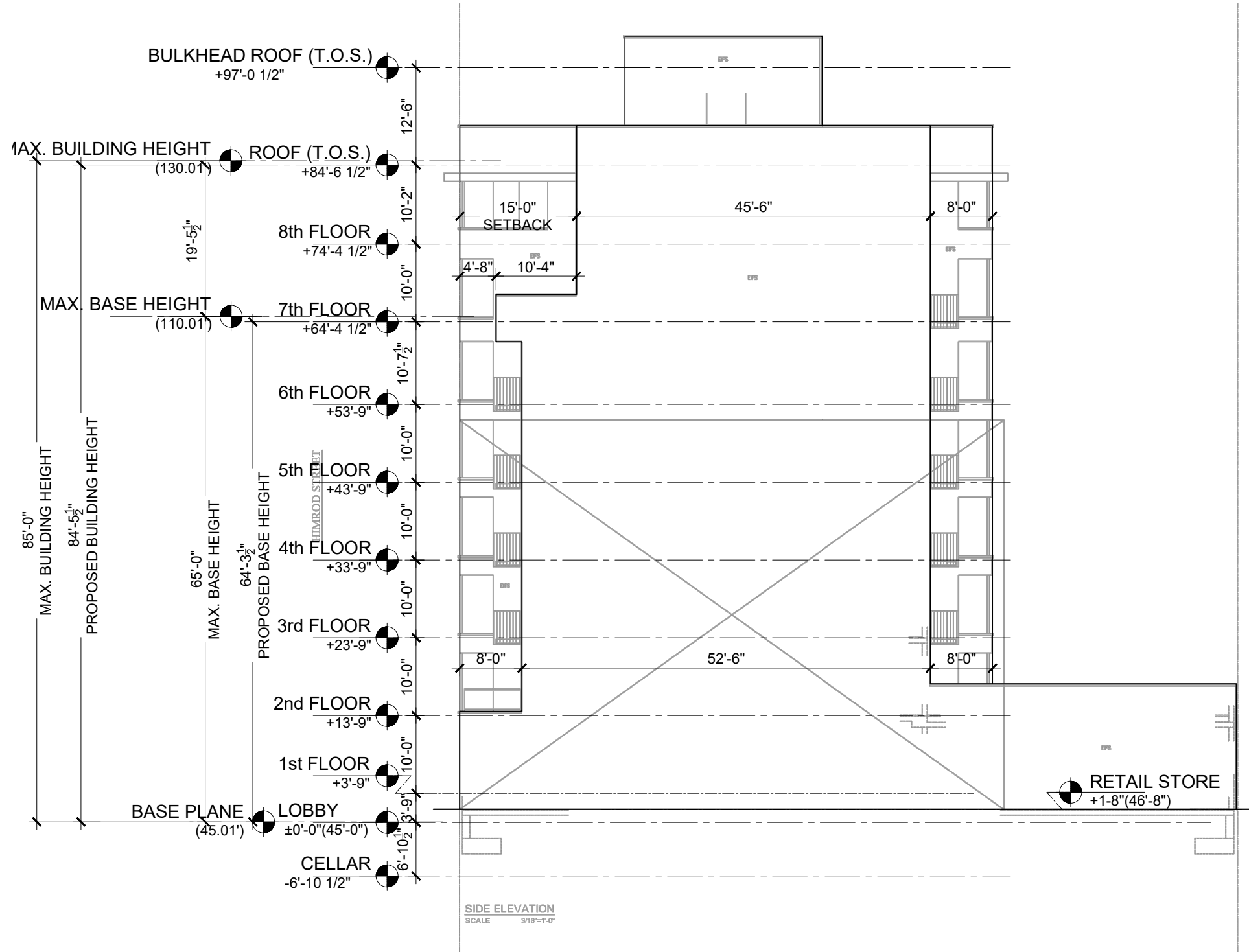
Signature _____ Date 08-11-2025

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BUILDING HEIGHT DIAGRAM (SIDE ELEVATION)
SCALE 1/16"=1'-0"

23-431 Street Wall Location (b)(2)
70% of the Street Wall width shall be within 10 feet of a Street Line.
Proposed Street Wall: 100% within 10 feet of a Street Line.
23-432 Height and Setback Regulations (for Qualifying Affordable Housing)
Base Plane calculations
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Minimum Base Height: 45'-0"
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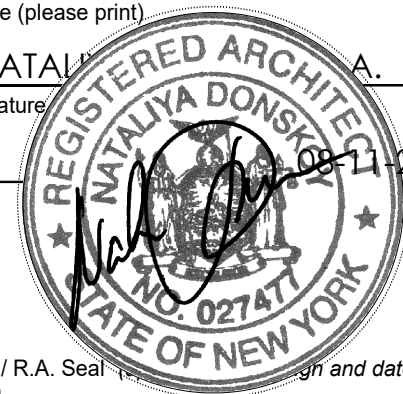
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Name (please print) NATALYA A.

Signature Date 08-11-2025



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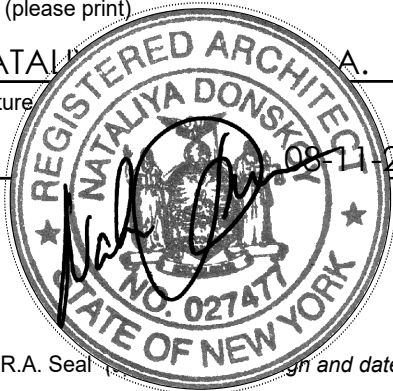
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Name (please print)

NATALIA A.

Signature Date

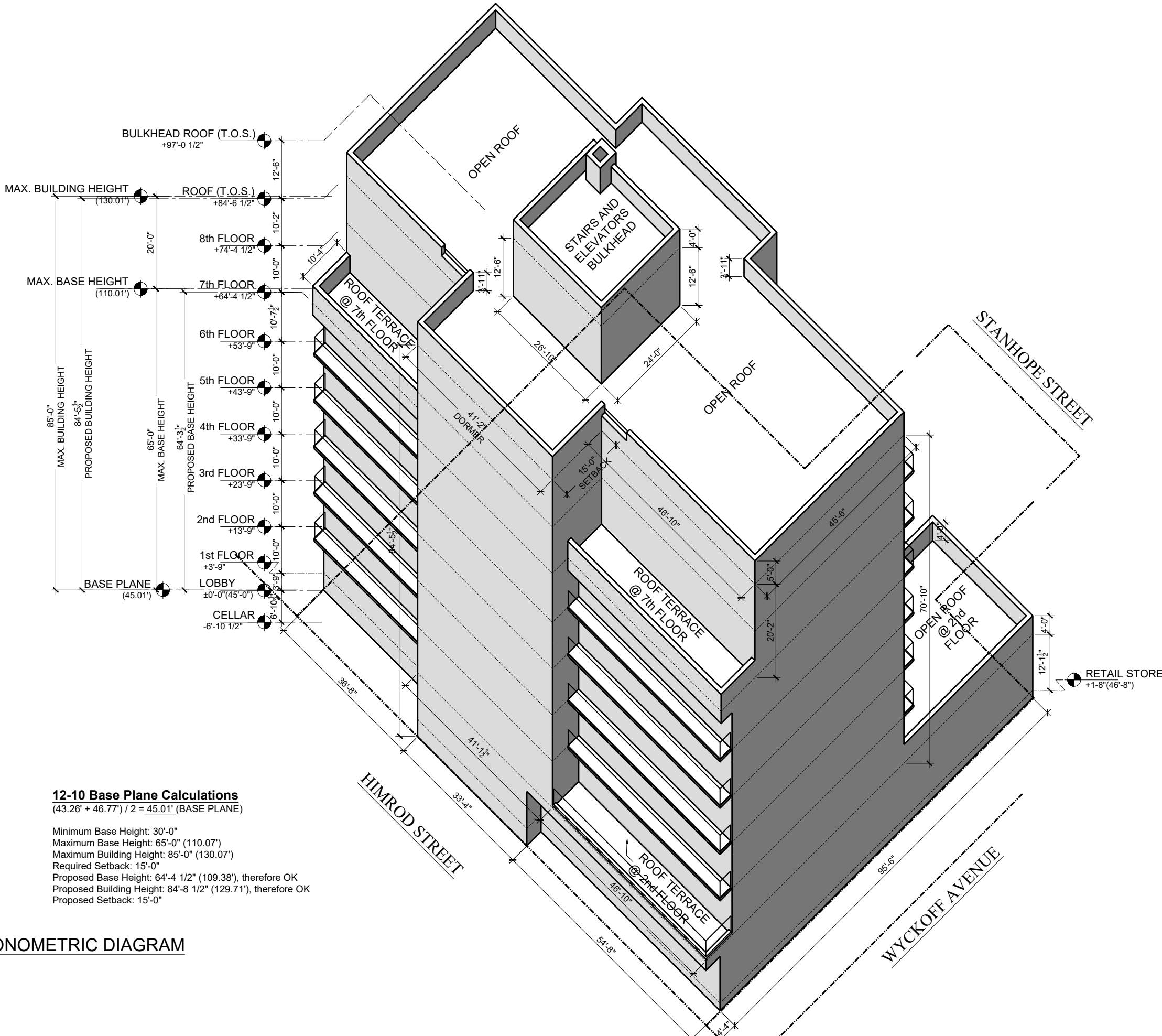


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12-10 Base Plane Calculations
(43.26' + 46.77') / 2 = 45.01' (BASE PLANE)

Minimum Base Height: 30'-0"
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Maximum Building Height: 85'-0" (130.07')
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AXONOMETRIC DIAGRAM
N.T.S.



ZD1 Zoning Diagram

Must be typewritten.
Sheet _____ of _____

1	Applicant Information <i>Required for all applications.</i>
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Last Name	Donskoy	First Name	Nataliya	Middle Initial	
Business Name	ND Architecture & Design, PC			Business Telephone	(718)456-2289
Business Address	499 Van Brunt Street, Suite 9B,			Business Fax	
City	Brooklyn	State	NY	Zip	11231
Mobile Telephone	(516)547-0538			E-Mail	nd@ndarchdesign.com
License Number	027477				

2	Additional Zoning Characteristics <i>Required as applicable.</i>
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Dwelling Units	75	Parking area	4,629.5 sq. ft.	Parking Spaces: Total	13	Enclosed	-
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3	BSA and/or CPC Approval for Subject Application <i>Required as applicable.</i>
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Board of Standards & Appeals (BSA)

☐ Variance	Cal. No. _____	Authorizing Zoning Section <u>72-21</u>
☐ Special Permit	Cal. No. _____	Authorizing Zoning Section _____
☐ General City Law Waiver	Cal. No. _____	General City Law Section _____
☐ Other	Cal. No. _____	

City Planning Commission (CPC)

☐ Special Permit	ULURP No. _____	Authorizing Zoning Section _____
☐ Authorization	App. No. _____	Authorizing Zoning Section _____
☐ Certification	App. No. _____	Authorizing Zoning Section _____
☐ Other	App. No. _____	

4	Proposed Floor Area <i>Required for all applications. One Use Group per line.</i>
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Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
CELLAR	4,234.4	2	-				
1	1,383.0	6			1,313.9		0.08
1	1,495.5	4		1,420.7			0.09
1	5,665.8	2	4,182.6				0.25
2	7,203.7	2	6,387.9				0.39
3	7,203.7	2	6,387.9				0.39
4	7,203.7	2	6,387.9				0.39
5	7,203.7	2	6,387.9				0.39
6	7,203.7	2	6,387.9				0.39
7	6,619.2	2	5,851.0				0.35
8	6,619.2	2	5,851.0				0.35
BULKHEAD	647.4	2	-				0.00

ZD1

Sheet _____ of _____

4	Proposed Floor Area <i>Required for all applications. One Use Group per line.</i>
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[illegible]

Total Zoning Floor Area	50,558.5
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