

LEGEND

PROPOSED BUILDING

PERMITTED OBSTRUCTION

LOT LINE

PROPERTY INFO

PROPERTY:

354 EAST 28TH STREET, BROOKLYN, NY, 11226

BLK / LOT:

5193 / 28

ZONING MAP:

23A

ZONING DISTRICT:

R6, NARROW

BIS APPL #:

B01166584-II

USE GROUP:

II

OCC GROUP:

R2

CONSTR CL:

IB

LOT SIZE:

100.00' x 102.50'

LOT AREA:

10,250.00 SQFT

FL. AREA:

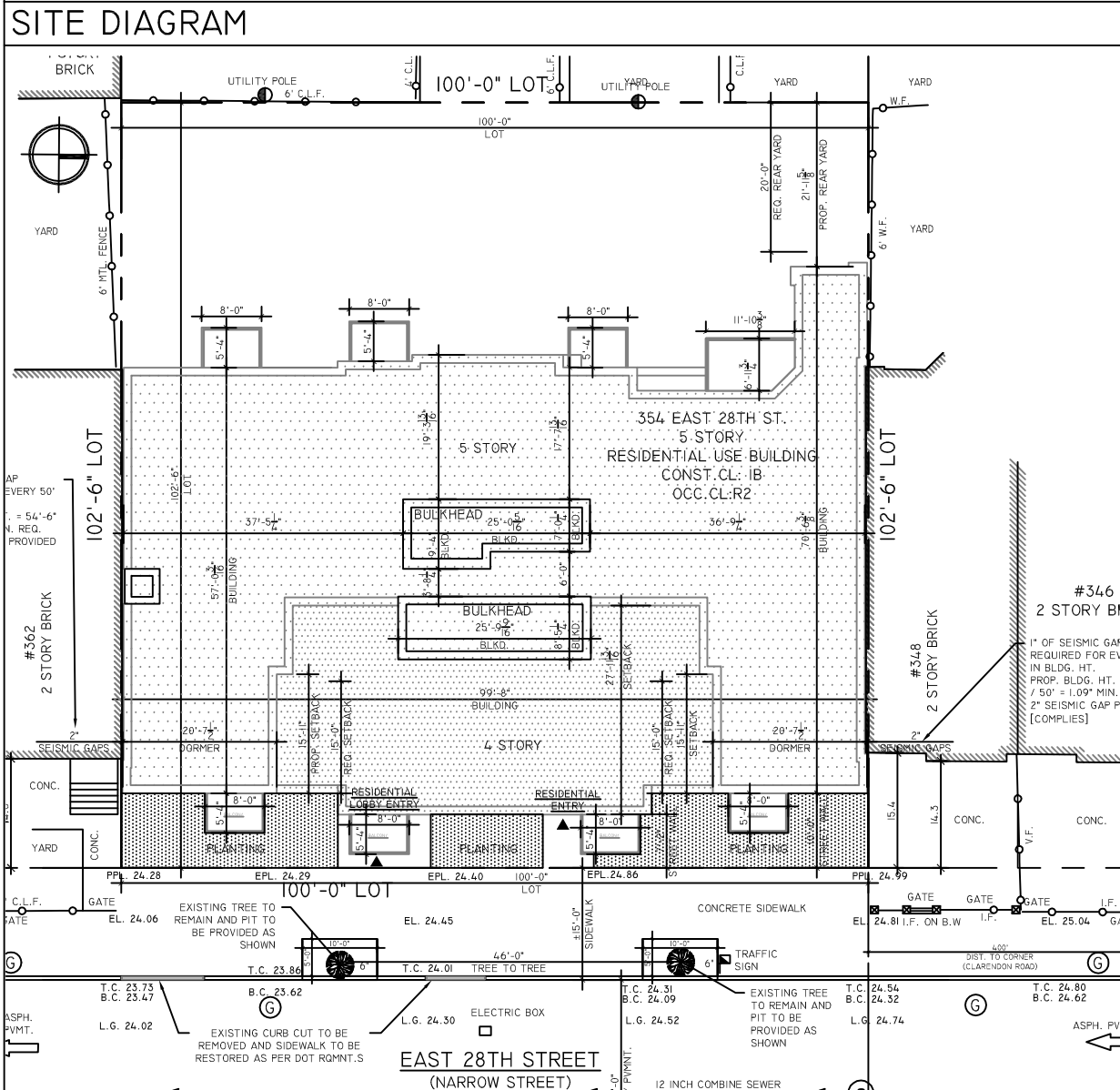
22,453.79 SQFT

BASE PLN:

24.56'

MDL CLASSIFICATION:

HAEA (CLASS A DWELLING UNIT)



ZONING ANALYSIS

ZONING ANALYSIS				
APPLICABLE ZR SECTION	ITEM	REQUIRED / PERMITTED	PROPOSED	COMPLIANCE
USE REGULATIONS				
22-00	USE REGULATIONS	UG II	UG II	COMPLIES
23-01	RESIDENTIAL BULK REGULATIONS	BULK REGULATIONS APPLICABLE TO RESIDENTIAL BUILDINGS TO BE APPLIED TO ZONING LOTS IN R6	RESIDENTIAL BULK REGULATION REQUIREMENTS ARE PROVIDED, SEE INFO BELOW.	COMPLIES
FLOOR AREA REGULATIONS				
23-22	FLOOR AREA REGULATION (RESIDENTIAL BUILDINGS)	MAX. FLOOR AREA RATIO (R6 NARROW): 2.20 MAX. FLOOR AREA: MAX. TOTAL FL. AREA: 2.20 x 10,250.00 SF = 22,550.00 SF	PROP. RES. FL. AREA = 22,453.79 SF < 22,550.00 SF PROP. FLOOR AREA RATIO: 2.191 < 2.20	COMPLIES
23-231	FLOOR AREA PROVISIONS FOR AMENITIES	FLOOR SPACE IN A BUILDING ALLOCATED TO RESIDENTIAL AMENITIES MAY BE EXEMPTED FROM THE DEFINITION OF FLOOR AREA, IN AN AMOUNT NOT TO EXCEED 5% OF THE RESIDENTIAL FLOOR AREA OF THE BUILDING. 5% OF PROPOSED RESIDENTIAL FA: 22,453.79 SF X 5% = 1,122.69 SF MAX. DED.	MAX. 1,122.69 SF AMENITIES DED. SEE Z-006 FOR DIAGRAMS AND CALC.S	COMPLIES
23-232	PROVISIONS FOR CORRIDORS	FLOOR SPACE IN A BUILDING ALLOCATED TO CORRIDORS MAY BE EXEMPTED FROM FLOOR AREA AS PER (A) AND/OR (B): (A) 50% OF THE FLOOR SPACE OF A CORRIDOR MAY BE EXEMPTED FROM THE DEFINITION OF FLOOR AREA WHERE (2) THE CORRIDOR HAS DAYLIGHTING THROUGH WINDOWS WITH A GLAZED AREA OF AT LEAST 20 SQUARE FEET, AND SUCH WINDOWS ARE LOCATED: (1) DIRECTLY WITHIN THE CORRIDOR; (B) 50% OF THE FLOOR SPACE OF A CORRIDOR MAY BE EXEMPTED FROM THE DEFINITION OF FLOOR AREA, WHERE THE LENGTH OF THE CORRIDOR, AS MEASURED FROM THE ELEVATOR CORE TO THE DOOR OF THE FURTHEST DWELLING UNIT ON THE STORY, DOES NOT EXCEED 100 LINEAR FEET.	(A) CORRIDOR DAYLIGHT DED. PROV. ON 1ST & 5TH FLRS FLRS. (B) CORRIDOR LENGTH DED. PROV. ON 1ST TO 5TH FLRS FLRS. SEE Z-006 TO Z-008 FOR DIAGRAMS AND CALC.S	COMPLIES
23-233	FLOOR AREA PROVISIONS FOR REFUSE STORAGE AND DISPOSAL	FLOOR SPACE IN A BUILDING ALLOCATED TO REFUSE STORAGE AND DISPOSAL MAY BE EXEMPTED FROM THE DEFINITION OF FLOOR AREA IN AN AMOUNT NOT TO EXCEED A MAXIMUM OF 3 SF PER DWELLING UNIT IN THE BUILDING. 33 UNIT X 3 SF = 99 SF	3 SF / UNIT MAX. DEDUCTED PER FLOOR, SEE DIAGRAMS ON Z-006 TO Z-008	COMPLIES
YARDS, COURTS AND OTHER OPEN AREA REGULATIONS				
23-322	FRONT YARD REQ'S	FRONT YARD = NONE REQ'D	7'-2" TO 10'-0" PROVIDED. SEE PLOT PLAN ON THIS SHEET.	COMPLIES
23-334(B)	SIDE YARDS REQ'S	SIDE YARD = NONE REQ. (OR MIN. 5'-0" IF PROVIDED)	NONE PROVIDED	COMPLIES
23-342(A)(1)	REAR YARDS REQ'S	REAR YARD = 20'-0" BELOW 75' IN HEIGHT	21'-11 5/8" PROVIDED BELOW 75' IN HEIGHT SEE PLOT PLAN ON THIS SHEET AND LOT COVERAGE DIAG. ON Z-003.	COMPLIES
23-362	MAX. LOT COVERAGE	MAX. LOT COVERAGE (R6 NARROW): 80% x 10,250.00 SF = 8,200.00 SF	LOT COVERAGE = 5,979.44 SF < 8,200.00 5,979.44 / 10,250.00 SF = 58.34% SEE DIAG. ON SHEET Z-003	COMPLIES
HEIGHT & SETBACK REGULATIONS				
23-413(B)(X)(1)	PERMITTED OBSTRUCTIONS IN CERTAIN DISTRICTS	(1) DORMERS ARE A PERMITTED OBSTRUCTION: (11) THE AGGREGATE WIDTH OF ALL DORMERS AT THE MAX. BASE HEIGHT DOES NOT EXCEED 40% OF THE WIDTH OF THE STREET WALL OF THE HIGHEST STORY ENTIRELY BELOW THE MAX. BASE HEIGHT. SUCH DORMERS NEED NOT DECREASE IN WIDTH AS THE HEIGHT ABOVE THE MAXIMUM BASE HEIGHT INCREASES.	DORMER PROVIDED: ON 5TH FLOOR (SEE Z-002 DORMER CALC.S)	COMPLIES
23-431(B)(X)(2)	STREET WALL LOCATION	(2) ALONG NARROW STREETS, AT LEAST 70 PERCENT OF THE AGGREGATE WIDTH OF STREET WALL SHALL BE LOCATED WITHIN 10 FEET OF THE STREET LINE AND EXTEND TO AT LEAST THE MINIMUM BASE HEIGHT SPECIFIED IN SECTION 23-432. OR THE HEIGHT OF THE BUILDING, WHICHEVER IS LESS. UP TO 30 PERCENT OF THE AGGREGATE WIDTH OF STREET WALLS MAY BE RECESSED BEYOND 10 FEET OF THE STREET LINE, PROVIDED THAT ANY SUCH RECESSES DEEPER THAN 15 FEET ARE LOCATED WITHIN AN OUTER COURT.	100 PERCENT OF THE AGGREGATE WIDTH OF THE STREET WALL IS LOCATED WITHIN 10' OF THE STREET LINE AND EXTENDS ABOVE THE MINIMUM BASE HEIGHT. SEE PLOT PLAN ON THIS SHEET	COMPLIES
23-432	HEIGHT AND SETBACK REQ'S	R6 ON A NARROW STREET BEYOND 100'-0" OF A WIDE STREET: MIN. BASE HT. = 30'-0" MAX. BASE HT. = 45'-0" MAX. BUILDING HT. = 55'-0"	BEYOND 100'-0" OF A WIDE ST.: BASE HT. = 43'-4" BUILDING HT. = 54'-6" SEE SHEET Z-002.	COMPLIES
23-433(A)	SETBACK REQUIREMENTS	INITIAL SETBACK DISTANCE = 15' ABOVE MAX. BASE HT. @ NARROW STREET (SETBACK MAY BE REDUCED BY 1'-0" FOR EVERY FOOT THAT THE STREET WALL IS LOCATED BEYOND THE STREET LINE, BUT IN NO EVENT SHALL A SETBACK OF LESS THAN 7'-0" DEEP)	SETBACK = 15'-11" (SEE PLOT PLAN ON THIS SHEET)	COMPLIES
DENSITY REGULATIONS				
23-52(B)	MAXIMUM NUMBER OF DWELLING UNITS	MAX. RESIDENTIAL ZONING FLOOR AREA/680 = 22,550.00 SF/680 = 33.16 = 33 UNITS	PROP. NUMBER OF DWELLING UNITS = 33 UNITS	COMPLIES
ADDITIONAL DESIGN REGULATIONS				
26-41 (23-611)	STREET TREE PLANTING IN RESIDENCE DISTRICTS	DEVELOPMENTS SHALL PROVIDE STREET TREES IN ACCORDANCE WITH SECTION 26-41 STREET TREE PLANTING STREET TREES SHALL BE PLANTED FOR EVERY 25' OF STREET FRONTAGE 100'/25' = 4 TREES REQUIRED	- 2 EXISTING TREES TO REMAIN AND BE PROTECTED ON SITE - 2 TREE TO BE PAID INTO TREE FUND - OFFSITE	COMPLIES
23-613	FRONT YARD PLANTING	AREA BTWN STREET LINE AND ALL STREET WALLS REQ PLANTING, EXCEPT AT ENTRANCES & EXITS, DRIVEWAY & ANY AREA WITH PERMITTED OBSTRUCTION	PLANTING PROVIDED. SEE PLOT PLAN ON Z-001	COMPLIES
23-63	REQ'D RECREATION IN MULTI-FAMILY BLDGS	MIN. RECREATION SPACE REQUIRED = 3% OF RESIDENTIAL FLOOR AREA: 22,453.79 SF X 3% = 673.61 SF REQ.	1ST FLR - CO-WORKING SPACE: 369.81 SF 1ST FLR - GYM: 574.45 SF TOTAL PROP. 944.26 SF > 673.61 SF SEE FIRST FLOOR PLAN ON A-101.00	COMPLIES
ACCESSORY OFF-STREET PARKING AND LOADING REGULATIONS				
25-211	PARKING REQ'S	INNER TRANSIT ZONE: NO ACCESSORY OFF-STREET PARKING REQUIRED FOR DWELLING UNITS	NO PARKING SPACES PROVIDED	COMPLIES
25-811	RESIDENTIAL ENCLOSED BICYCLE PARKING SPACES	1 BICYCLE PARKING FOR EACH 2 DWELLING UNITS IS REQ'D: 33 X 0.5 = 17 BICYCLES 15 SF OF AREA SHALL BE PROVIDED FOR EACH BICYCLE SPACE 15 SF X 17 = 255 SF REQ'D	18 BICYCLE PARKING SPACES PROVIDED AT 1ST FLR. 275.61 SF IS PROVIDED, SEE LAYOUT ON SHEET A-101	COMPLIES

NYC

Buildings

ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes

No

Location Information

House No(s)

354

Street Name

EAST 28TH STREET

DOB JOB #:

B01166584-II

Borough

BROOKLYN

Block

5193

Lot

28

BIN

3119924

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)

THOMAS SCIBILIA

Signature

REGISTERED ARCHITECT

THOMAS A. SCIBILIA

034774

STATE OF NEW YORK

Date

8-19-2025

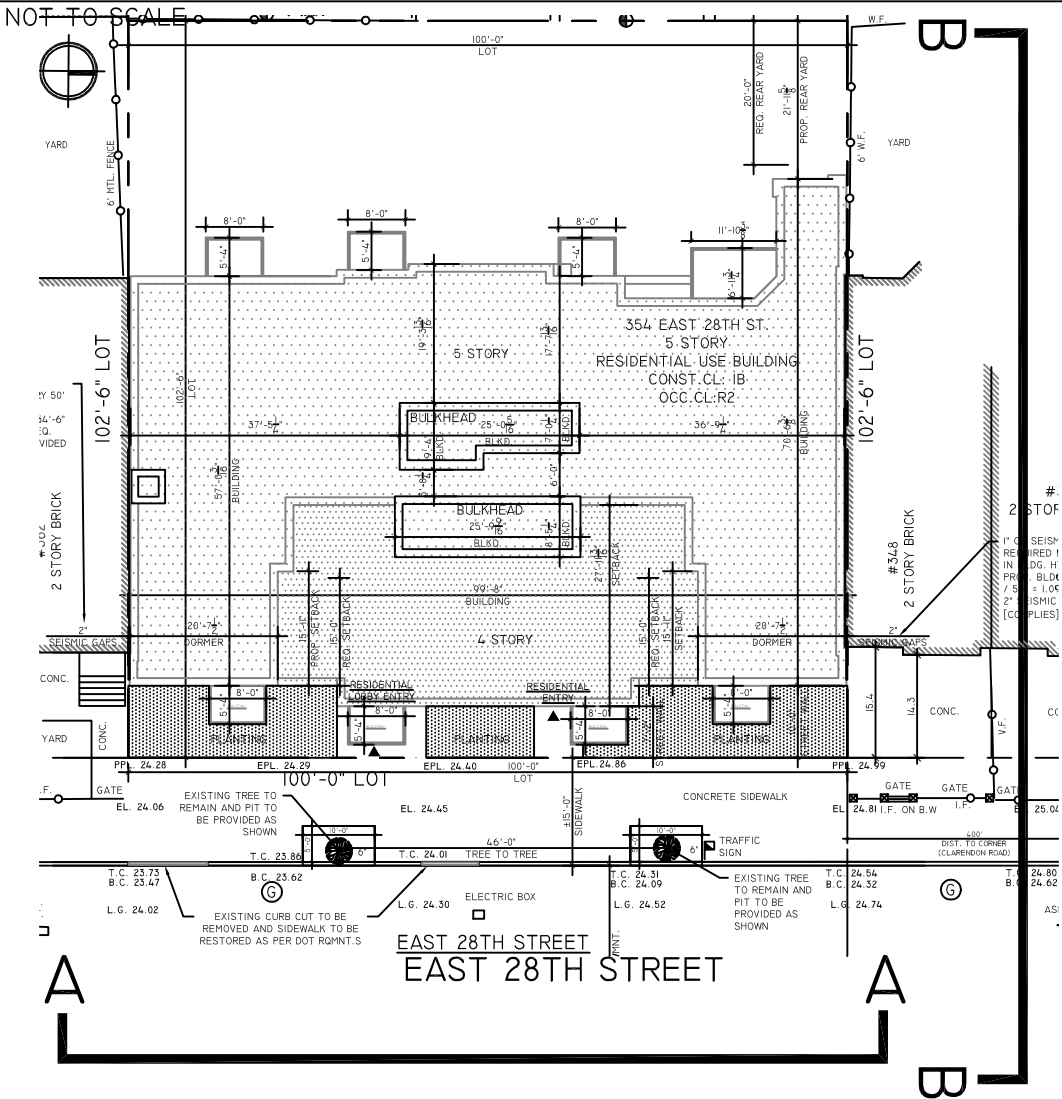
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Internal Use Only

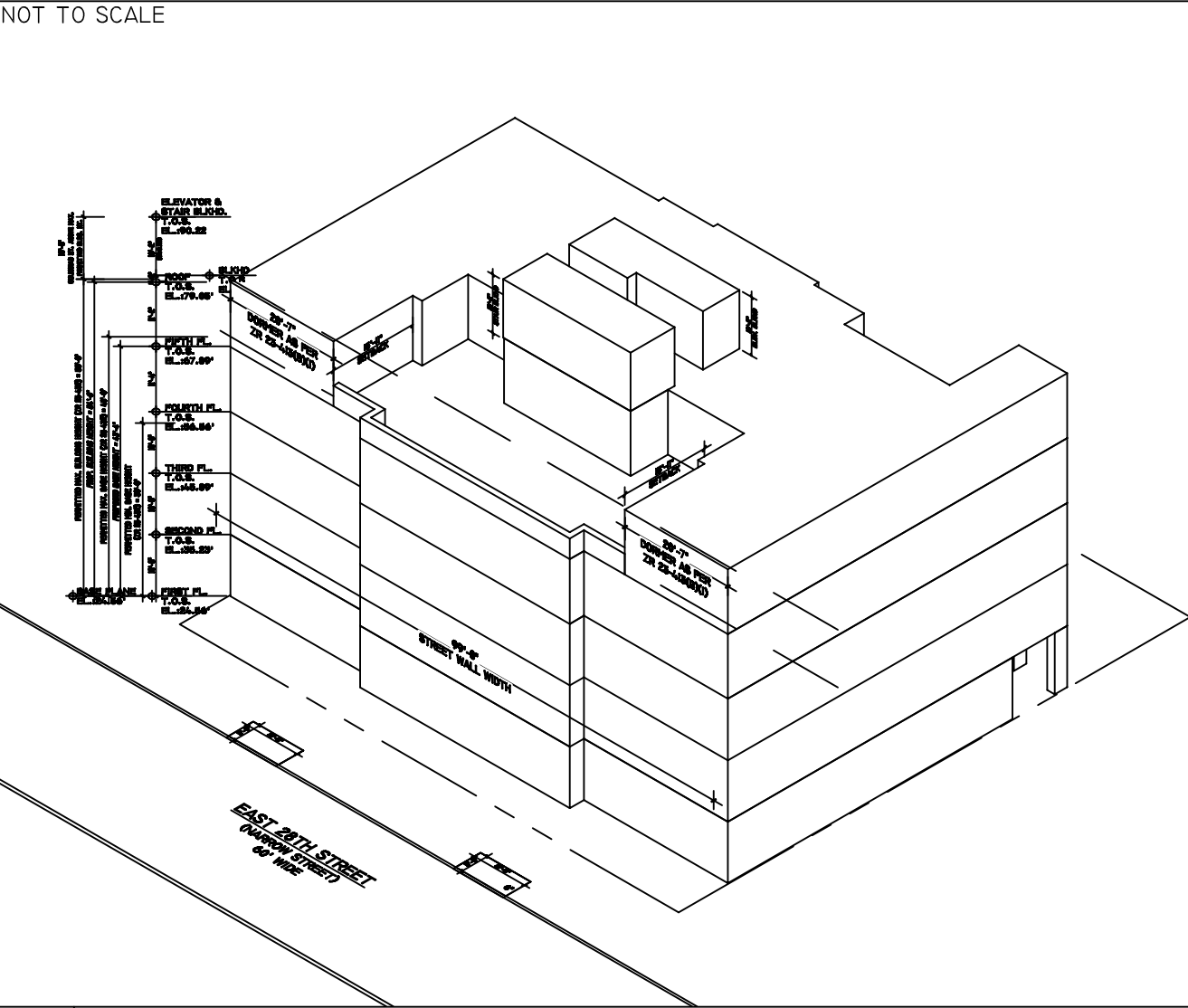
BIS Doc #

PLAN EXAMINER SIGN AND DATE

KEY PLAN



AXONOMETRIC DIAGRAM



ZD1 Zoning Diagram
Must be typewritten.

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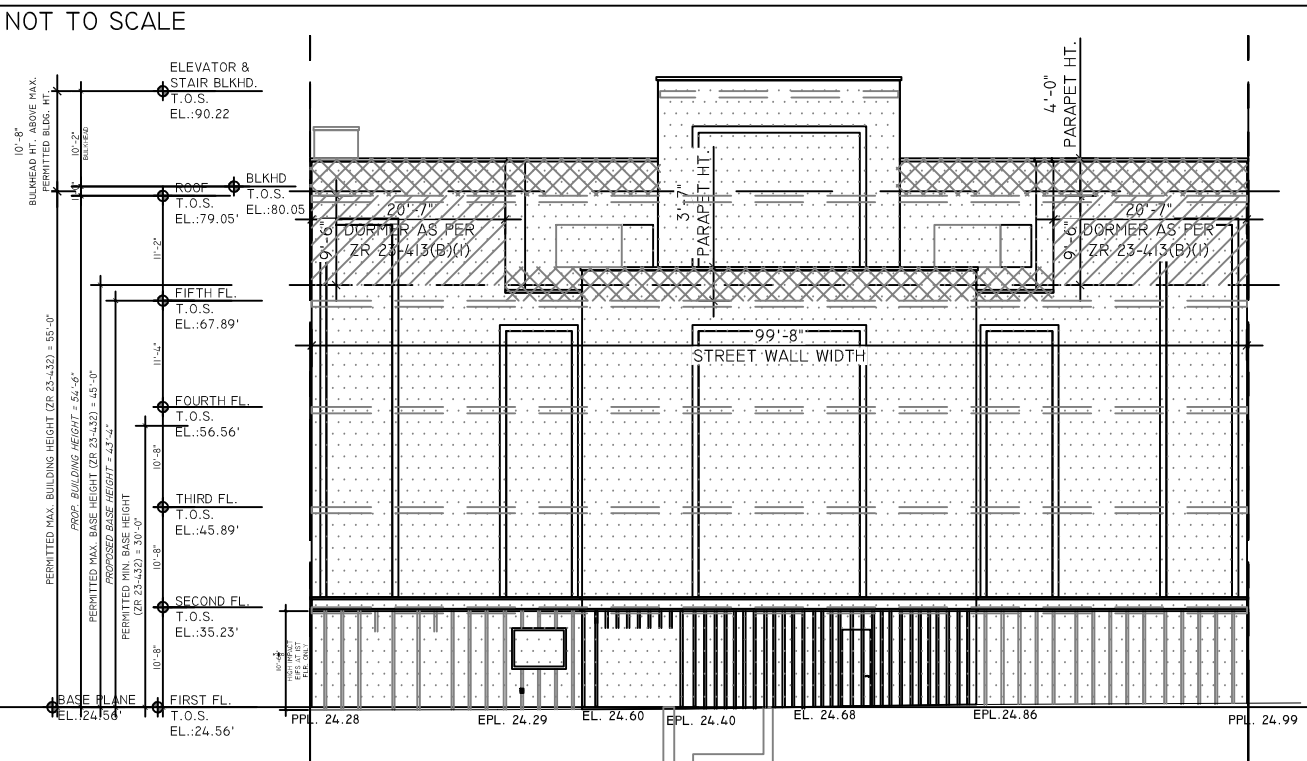
Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

☐ Yes ☐ No

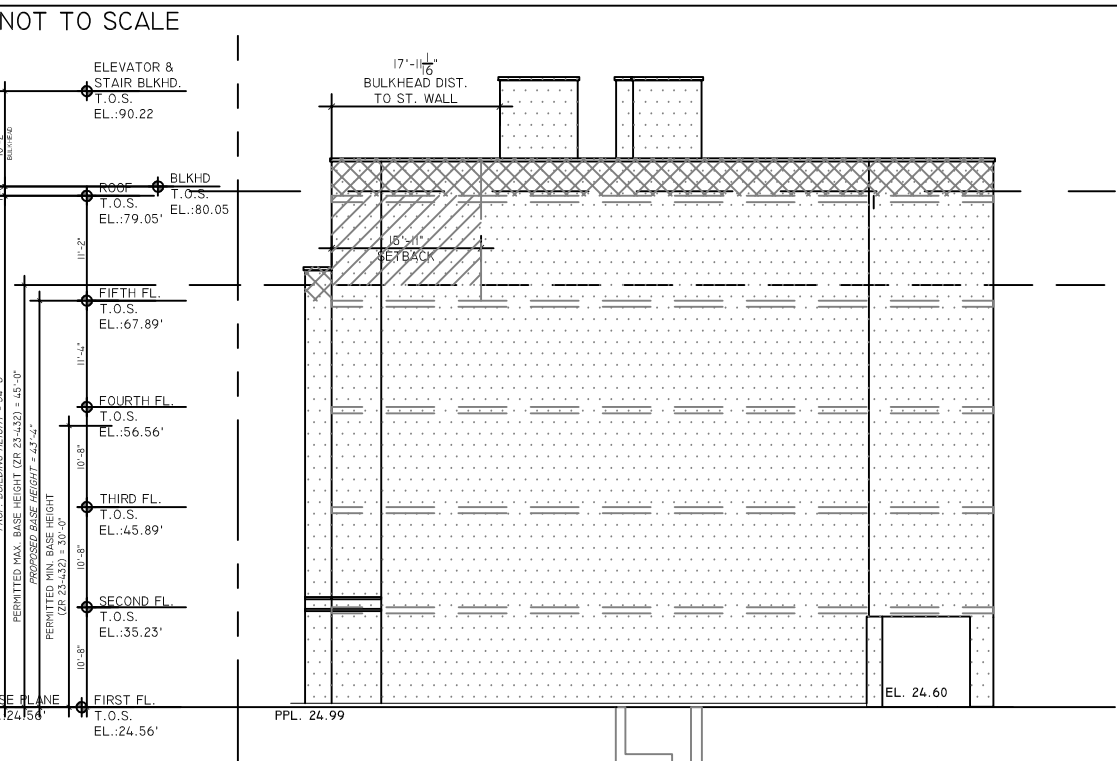
Location Information	
House No(s)	354
Street Name	EAST 28TH ST.
DOB JOB #:	B01166384-11
Borough	BROOKLYN
Block	5193
Lot	28
BIN	3119924

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SECTION DIAGRAMS A-A



SECTION DIAGRAMS B-B



Name (please print) THOMAS SCIRILIA

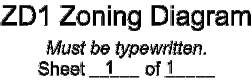
Signature _____ Date 9-2025

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Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



Board of Standards & Appeals (BSA)		
☐ Variance	Cal. No. _____	Authorizing Zoning Section _____
☐ Special Permit	Cal. No. _____	Authorizing Zoning Section _____
☐ General City Law Waiver	Cal. No. _____	General City Law Section _____
☐ Other	Cal. No. _____	
City Planning Commission (CPC)		
☐ Special Permit	ULURP No. _____	Authorizing Zoning Section _____
☐ Authorization	App. No. _____	Authorizing Zoning Section _____
☐ Certification	App. No. _____	Authorizing Zoning Section _____
☐ Other	App. No. _____	

ZD1

Sheet 1 of 1

The logo for NYC Buildings, featuring the letters "NYC" in a large, bold, black font with a white outline, and the word "Buildings" in a smaller, black, sans-serif font below it.

ZD1 Zoning Diagram

Must be typewritten.

 Orient and affix BIS
job number label here 

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

☐ Yes ☐ No

Location Information

House No(s)	354
Street Name	EAST 28TH ST.
DOB JOB #:	B01166584-I1
Borough	BROOKLYN
Block	5193
Lot	28
BIN	3119924

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Name (please print) THOMAS SCIBILIA

Signature _____ Date 9-2025



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