

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15

Yes  No

### Location Information

House No(s) 632  
 Street Name EASTERN PARKWAY  
 Borough BROOKLYN  
 Block 1270  
 Lot 6  
 BIN \_\_\_\_\_

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

NAME ( PLEASE PRINT)

TAFADZWA MWANDIAMBIRA 2-3-25  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



P.E. / R.A. SEAL (APPLY SEAL SIGN AND DATE OVER SEAL)

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BIS Doc # \_\_\_\_\_

<b>BUILDING DATA</b>	BLOCK .....1270
632 EASTERN PARKWAY, BROOKLYN 11213	LOT .....6
	ZONE .....R6
	MAP# .....175
	TRANSIT ZONE.....YES

### SCOPE OF WORK

PROPOSED 7 STORY MIXED USE BUILDING RESIDENTIAL, HOUSE OF WORSHIP, COMMUNITY FACILITY PHILANTHROPIC OFFICES WITH OUT & WITH SLEEPING ACCOMMODATIONS

SUB-CELLAR '2' FL.	HOUSE OF WORSHIP (A-348) USE GR. -IIB)
SUB-CELLAR '1' FL.	COMMUNITY CENTER (A-2, USE GR. -IIB)
CELLAR FL.	ACCESSORY TO BALLROOM (F-2, USE GR. -IIB)
FIRST FL.	COMMUNITY CENTER -(B, USE GR. -IIB)
2ND FL.	COMMUNITY CENTER -(B, USE GR. -IIB)
3RD FL.	COMMUNITY CENTER -(B, USE GR. -IIB)
4TH FL.	RESIDENTIAL -QUALITY HOUSING (R-2, USE GR. I)
5TH FL.	COMMUNITY CENTERS -(B, USE GR. -IIB)
6TH FL.	RESIDENTIAL -QUALITY HOUSING (R-2, USE GR. I)
7TH FL.	COMMUNITY FACILITY PHILANTHROPIC OFFICES WITH SLEEPING ACCOMMODATIONS -(R-1, USE GR. -IIIA)
	RESIDENTIAL -QUALITY HOUSING (R-2, USE GR. I)
	COMMUNITY FACILITY PHILANTHROPIC OFFICES WITH SLEEPING ACCOMMODATIONS -(R-1, USE GR. -IIIA)

PERMITTED USE GROUPS:  
 ZR 22-10 I-VI

PROPOSED USE GROUP:  
 II - RESIDENTIAL  
 IIIA- PHILANTHROPIC OFFICE WITH SLEEPING ACCOMMODATION  
 IIIB- HOUSE OF WORSHIP;  
 COMMUNITY CENTER

LOT AREA: 120'-7" X 100'-0" = 12058.33 S.F.  
 LOT AREA WITHIN 100' FROM THE WIDE ST:  
 100'-0" X 100'-0" = 10000.0 S.F.  
 LOT AREA AFTER 100' FROM THE WIDE ST:  
 20'-7" X 100'-0" = 2058.33 S.F.

RESIDENTIAL:  
 MAX F.A.R.  
 ZR 23-153:  
 L.A. (10000.0) X 3.0 = 30000.0 S.F. +  
 L.A. (2058.33) X 2.2 = 4528.33 S.F. = 34528.33 S.F.

COMM. FACILITY:  
 MAX F.A.R. ZR24-11:  
 F.A.R. COMMUNITY FACILITY (MIXED USE)-4.8  
 FOR USE GROUP 3B: 12058.33 S.F. X 4.8 = 57879.98 SF

PROPOSED FLOOR AREA:  
 FOR USE GROUP 3B: 7616.0 SF < 57879.98 SF  
 FOR USE GROUP 3A: 6549.0 S.F. < 29301.74 SF  
 TOTAL COMM. FACILITY: 7616.0 SF + 6549.0 SF = 14165.0 SF  
 RESIDENTIAL: 26983.58 SF < 34528.33 SF  
 TOTAL ZONING FLOOR AREA: 41148.58 SF < 57879.98 SF

### PROPOSED FLOOR AREA

AREA	TOTAL GROSS	TOTAL DEDUCTIONS	632 EASTERN PARKWAY		636&640 EASTERN PARKWAY		632& 636&640 EASTERN PARKWAY		FAR			
			TOTAL ZONING COM.FACILITY WITH SLEEPING ACCOMMODATIONS - DEDUCTIONS MULTIPLIED BY PERCENTAGE OF USES	TOTAL ZONING COM.FACILITY WITH SLEEPING ACCOMMODATIONS - DEDUCTIONS MULTIPLIED BY PERCENTAGE OF USES	TOTAL GROSS	RESIDENTIAL ZONING	TOTAL GROSS ALL BUILDINGS	TOTAL RESIDENTIAL ZONING ALL BUILDINGS		TOTAL ZONING ALL BUILDINGS		
CELLAR FL.	5037				4884.67		9922					
SUB-CELLAR LEVEL '1'	5037						5037.43					
SUB-CELLAR LEVEL '2'	5037						5037					
1ST FL.	2712	11	1593	559	4884.67	4884.67	7596.18	5443.99	7596.18			
2ND FL.	2177	11	2166		4884.67	4884.67	7061.53	4884.67	7050.28			
3RD FL.	2878	15	1929	935	4884.67	4884.67	7762.93	5819.67	7748.67			
4TH FL.	2878	15	1929	935	4884.67	4884.67	7762.93	5819.67	7748.67			
5TH FL.	2878	79		1883	916	2799	3360.92	6239.18	4277.00			
6TH FL.	2731	79		1913	739	2652	2731	739	2652			
7TH FL.	2317	123		2194			2317		2194			
ROOF	704		0	0			704					
BULKHEAD	542		0	0			542					
<b>TOTAL</b>	<b>34930</b>	<b>1569</b>	<b>7616</b>	<b>6549</b>	<b>4084</b>	<b>18250</b>	<b>27784.25</b>	<b>22899.58</b>	<b>62714.25</b>	<b>26983.58</b>	<b>41148.58</b>	<b>3.41</b>

### LOT COVERAGE

COMM. FACILITY MAX L.C. ZR24-11: CORNER LOT: 70% L.A. X 70 % = 12058.33 SF X 70% = 8440.83 SF

RESIDENTIAL MAX L.C. ZR23-153 ZR23-156(B): AS PER ZR23-153: INTERIOR LOT: 2058.33 SF. X 65% = 1337.91 SF AS PER 23-156(B)

PROPOSED: FOR INTERIOR LOT, OR PORTIONS THEREOF, WITHIN 100' OF THE POINT OF INTERSECTION OF TWO STREET LINES INTERSECTING AT AN ANGLE OF 135 DEGREES OR LESS, THE MAX. LOT COVERAGE SHALL BE 100% 10000.0 SF X 100% = 10000.0 SF TOTAL MAX LOT COVERAGE: 10000.0 SF + 1337.91 SF = 11337.91 SF

7762.93 S.F. < 8440.83 S.F. - SEE Z008  
 7762.93 / 12058.33 X 100% = 64.38%

COMM. FAC. ZR24-011, 24-11, ZR24-33(B)(3)(II) ZR24-12: ANY BUILDING OR PORTION OF A BUILDING USED FOR ANY PERMITTED USE OTHER THAN RESIDENCES, EXCEPT THAT ANY PORTION OF A BUILDING CONTAINING ROOMS USED FOR LIVING OR SLEEPING PURPOSES SHALL NOT BE A PERMITTED OBSTRUCTION, AND PROVIDED THAT THE HEIGHT OF SUCH BUILDING SHALL NOT EXCEED ONE STORY, EXCLUDING BASEMENT, NOR IN ANY EVENT 23 FEET ABOVE CURB LEVEL.

MAX DENSITY. ZR 23-22: F.A./680 = (34528.33 - 7616 - 6549) = 29301.74 S.F./680 = 29.94 D.U.

EXISTING: 12 D.U. = OK

PROPOSED: 16 (12 EXISTING AT 636&640 BLDG) AND 4 NEW AT 632 BLDG = OK

### HEIGHT REQUIREMENTS

MAX HEIGHT 23-662(c) 1ob.1: MIN. BASE HEIGHT = 40'-0" MAX BASE HEIGHT = 65'-0" MAX BUILDING HEIGHT = 70'-0"

EXISTING: 636&640 BUILDINGS HEIGHT = 50'-0" - NO CHANGE TO EXISTING

PROPOSED: BUILDING HEIGHT = 64'-0" - COMPLIES

### YARD REGULATIONS

FRONT YARD: ZR 23-665(H)	30'-0" REQUIRED
PROPOSED	30'-0"
SIDE YARDS: ZR 35-52	NONE REQD, OR 8'0" SIDE YARD IF ANY OPEN AREA
EXISTING	NONE
PROPOSED	NONE
REAR YARD: ZR 23-541	NO REAR YARD SHALL BE REQUIRED WITHIN 100 FEET OF THE POINT OF INTERSECTION OF TWO STREET LINES INTERSECTING AT AN ANGLE OF 135 DEGREES OR LESS.

### PARKING REQUIREMENTS

ZR 25-241	4 D.U. X 50% = 2 PARKING SPACES
PROPOSED	PARKING WAIVED AS PER 25-261 UP TO 5 PARKING SPACES
BICYCLE PARKING ZR 25-811	4 D.U. X 50% = 2 BICYCLE PARKING SPACES
PROPOSED	FOR 10 AND LESS D.U. BICYCLE PARKING MAY BE WAIVED

### PARKING REQUIREMENTS FOR COMMUNITY FACILITY

CAR PARKING 25-31	SUB-CELLAR '1': HOUSES OF WORSHIP - NONE REQUIRED COMMUNITY CENTER (PRC- B3): 1 PER 20 PERSONS PROP: 305 (CELL. FL.) + (646Z2) 16 (RIST FL.) + 11 (62ND FL.) + 14 X 2 (3RD & 4TH FL.) = 361 PEOPLE / 20 = 18.05 = 18 SPACES REQUIRED COMM. FACILITY W SLEEPING ACCOMMODATION (PRC-E3): 1 per 20 PERSONS PROP: 9 (6TH FL.) + 8 (6TH FL.) + 7 (6TH FL.) = 24 PEOPLE / 20 = 1.2 = 1 PARKING REQUIRED TOTAL REQUIRED: 19 PARKING, WAIVED AS PER 25-33 (UP TO 25 PARKING CAN BE WAIVED)
BICYCLE PARKING 36-711	HOUSES OF WORSHIP - NONE REQUIRED COMMUNITY CENTER - 1 PER 10,000 SF OF FLOOR AREA 14165 SF / 10000 SF = 1.4 = 1 REQUIRED - WAIVED UP TO 3 SPACES

### PLANTING REQUIREMENTS

ZR 26-41 TREE PLANTING	REQ'D ; ONE TREE FOR EVERY 25' OF FRONTAGE
PROPOSED FRONTAGE	100'-0" + 120'-7" = 220'-7" 220'-7" / 25'-0" = 8.8 = 9 TREES REQ'D
PROPOSED	5 TREES EXISTING TO REMAIN; 4 TREES TO BE PAID INTO TREE FUND

### STREET WALL LOCATION

ZR23-665(H): FOR THE PURPOSES OF APPLYING THE STREET WALL LOCATION AS WELL AS THE HEIGHT AND SETBACK PROVISIONS OF SECTIONS 23-661 AND 23-662, RESPECTIVELY, WHERE THE ADMINISTRATIVE CODE ESTABLISHES RESTRICTIONS ON THE LOCATION OF BUILDINGS ON LOTS FRONTING UPON AND WITHIN 30 FEET OF EASTERN PARKWAY IN COMMUNITY DISTRICTS 8 AND 9 IN THE BOROUGH OF BROOKLYN, LINES DRAWN 30 FEET NORTH OF AND 30 FEET SOUTH OF, AND PARALLEL TO, EASTERN PARKWAY SHALL BE CONSIDERED THE NORTHERN AND SOUTHERN STREET LINES OF EASTERN PARKWAY.

PROPOSED: STREET WALL IS 30' FROM HE STREET LINE

### SETBACK REGULATIONS

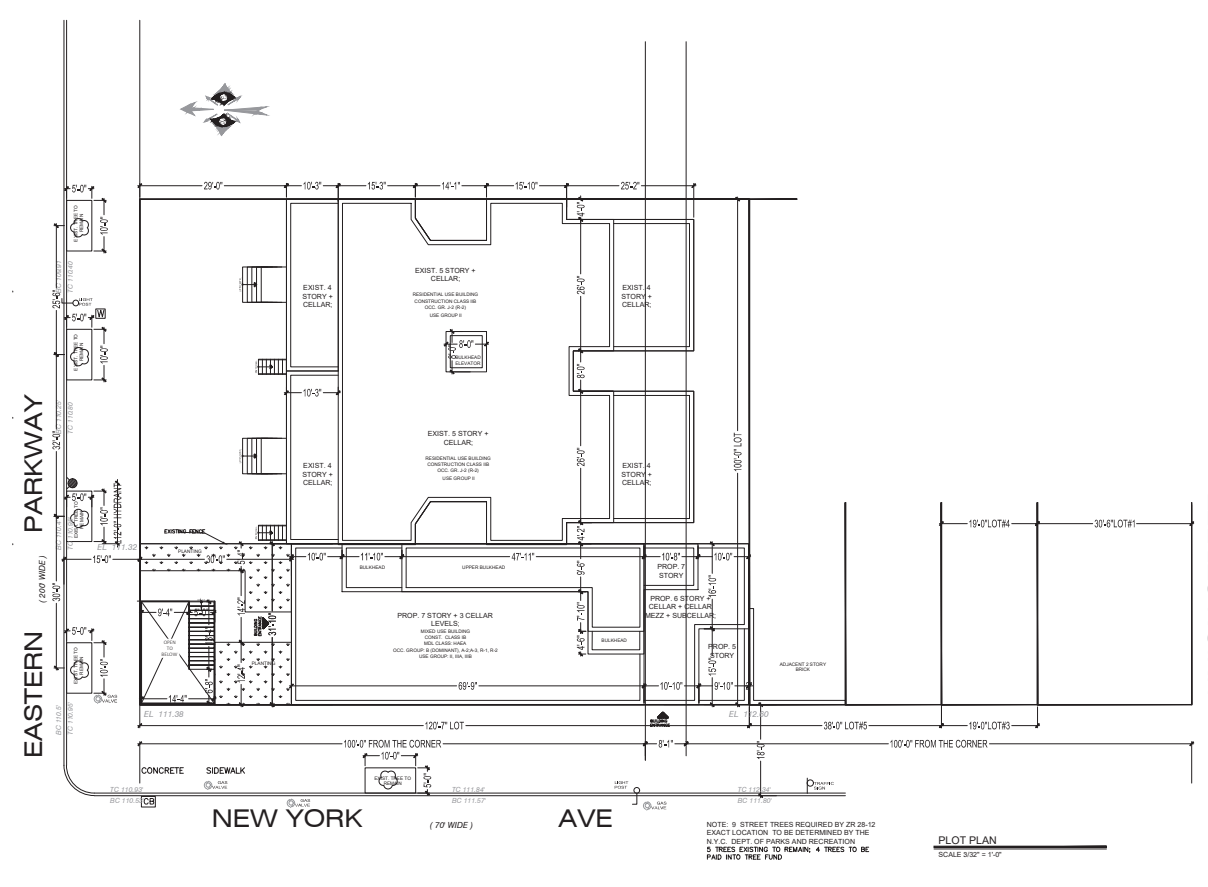
FRONT SETBACK 23-662(c)(1): A SETBACK WITH A DEPTH OF AT LEAST 10 FEET SHALL BE PROVIDED FROM ANY #STREET WALL# FRONTING ON A WIDE STREET

PROPOSED: COMPLIES

### PERMITTED OBSTRUCTION STAIR/ELEVATOR BULKHEAD

ZR 23-622 (c)(1)(2)(3)(4)(i)(o): (1) SUCH OBSTRUCTIONS SHALL BE LOCATED NOT LESS THAN 10' FROM THE STREET WALL OF A BUILDING.  
 (2) THE AGGREGATE AREA OF SUCH OBSTRUCTIONS, INCLUDING ANY REQUIRED SCREENING, DOES NOT EXCEED 50% OF THE LOT COVERAGE OF THE BUILDING;  
 (3) THE HEIGHT OF OBSTRUCTIONS WITHIN AN AGGREGATE AREA EQUIVALENT TO AT LEAST 20 PERCENT OF THE LOT COVERAGE OF THE BUILDING SHALL NOT EXCEED 15' ABOVE THE MAXIMUM PERMITTED HEIGHT; AND  
 (4) THE HEIGHT OF OBSTRUCTIONS WITHIN THE REMAINING LOT COVERAGE, NOT TO EXCEED 30% OF THE BUILDING SHALL NOT EXCEED: (i) IN R6 THROUGH R10 DISTRICTS:  
 (A) A HEIGHT OF 35 FEET ABOVE THE MAXIMUM PERMITTED HEIGHT

PROPOSED: BULKHEAD IS LOCATED 10'-0" OF STREET WALL BUILDING LOT COVERAGE IS 2,878 SF. MAX. PERMITTED 50% OF BLDG LOT COVERAGE = 1,439 SF. PROPOSED ROOF 704 SF = 24 % + BULKHEAD 542 SF. = 19 % 704 SF. + 542 SF. = 1,246 SF. = 43 % OF BUILDING LOT COVERAGE < 1,439 SF. HEIGHT ABOVE MAXIMUM PERMITTED HEIGHT 14'-0" < 15'-0" THEREFORE OK



NOTE: 8 STREET TREES REQUIRED BY ZR 28-12 EXACT LOCATION TO BE DETERMINED BY THE N.Y.C. DEPT. OF PARKS AND RECREATION  
 5 TREES EXISTING TO REMAIN; 4 TREES TO BE PAID INTO TREE FUND

PLOT PLAN SCALE 3/32" = 1'-0"

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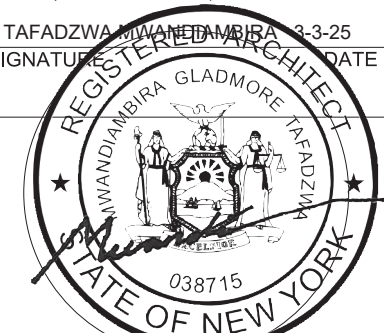
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NAME ( PLEASE PRINT )  
TAFADZWA MWANDIAMBIRA 3-3-25  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

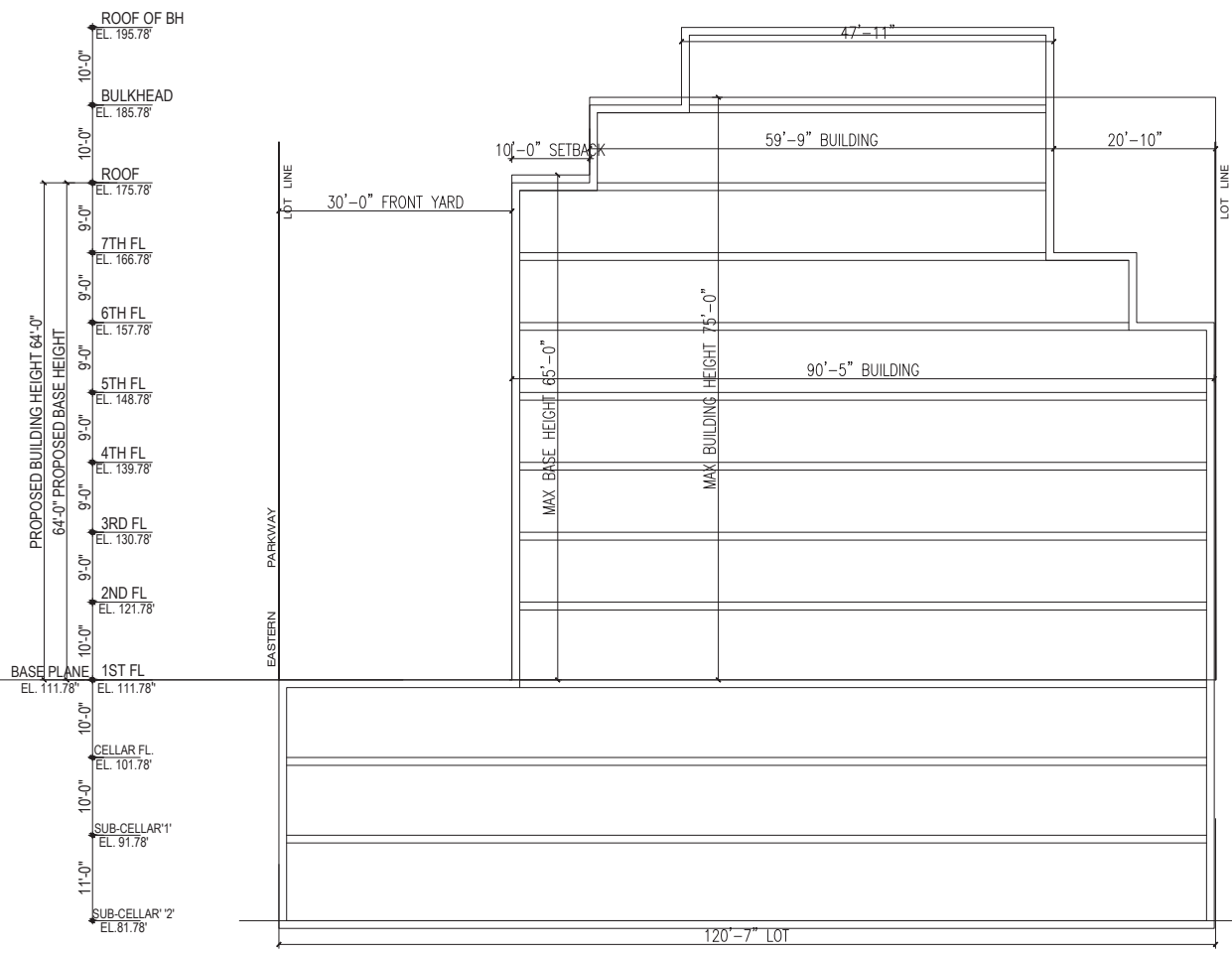


P.E. / R.A. SEAL (APPLY SEAL, SIGN AND DATE OVER SEAL)

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PLAN EXAMINERS SIGN AND DATE  
 ISSUANCE 7/09



BASE PLANE CALCULATION:  
 $111.32 + 111.38 / 2 = 111.35 \times 32' = 3563.2$   
 $111.38 + 112.60 / 2 = 111.99 \times 120'-7" = 13493.28$   
 $(3563.2 + 13493.28) / 152'-7" = 111.78$

HEIGHT DIAGRAM  
 SCALE 3/32" = 1'-0"

