

ZONING ANALYSIS

3063 BRIGHTON 6TH STREET, BROOKLYN, NY 11235

BLOCK: 8676 LOT: 16

BIN: 3244923

CB: 313

ZONE: R6 / C1-2 SPECIAL OCEAN PARKWAY DISTRICT

ZONING MAP: 28D

WATERFRONT AREA: NO. WATERFRONT BLOCK: NO. WATERFRONT ZONING LOT: NO

STRUCTURAL OCCUPANCY CATEGORY: II

INCLUSIONARY HOUSING DESIGNATED AREA: NO

WITHIN 200' OF TA STRUCTURE: YES. MTA LETTER OF NO IMPACT REQUIRED.

HISTORIC DISTRICT: NO.

ENVIRONMENTAL RESTRICTIONS: NO.

LOT AREA: 25' X 100' = 2,500 SF

SCOPE OF WORK: NEW 2-STORY & MEZZANINE COMMERCIAL BUILDING.

FLOOD ZONE: AE, ELEV 10 (NAVD88).

EFFECTIVE FIRM PANEL: 3604970354F, ISSUE DATE 9/5/2007

PRELIMINARY FIRM PANEL: 3604970354G, ISSUE DATE 1/30/2015

FLOOD HAZARD WITHOUT HIGH VELOCITY WAVE ACTION

MINIMUM ELEVATION BELOW WHICH FLOOD-DAMAGE-RESISTANT MATERIALS SHALL BE USED: 10+2=12'. G201 & ASCE 24 TABLES 5-1.

MINIMUM ELEVATION OF FLOODPROOFING: 10+2=12'. PER G201 & ASCE 24 TABLES 2-1.

FLOOD-RESISTANT CONSTRUCTION ELEVATION: 10+2=12'. PER G201 & ASCE 24 TABLES 2-1.

BUILDINGS (NONRESIDENTIAL SEE Z-004 (FOR FLOOD ZONE PURPOSES)) SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS IN

BC CHAPTER G3 AND ASCE 24, AND COMPLIES WITH DRY FLOODPROOFING OPTION AS PER G304.1.2(2).

AS PER APPENDIX G, BC-G201.2 PROPOSED BUILDING IS NONRESIDENTIAL (FOR FLOOD ZONE PURPOSES).

CONSTRUCTION CLASS: II-A

RISK CATEGORY (TABLE BC-1604.5): 2.

FLOOD DESIGN CLASS (G501.1 AMENDMENTS TO ASCE 24-14, TABLE 1-1): 2

ANALYSIS BASED ON ARTICLE 3, CHAPTER 3

USE / OCCUPANCY BREAKDOWN (BUILDING CODE (BC) / ZONING (ZR)):

1ST FLOOR: SPRINKLER, ELECTRICAL ROOMS. UG: VI (RETAIL). OCCUPANCY: M

CLOTHING AND CLOTHING ACCESSORIES RETAILERS. UG: VI (RETAIL). OCCUPANCY: M

DRY FLOODPROOFED. SHALL BE EVACUATED DURING FLOOD CONDITIONS.

FLOOD SHIELDS PROPOSED AND STORED ON PREMISES.

2ND FLOOR: BUSINESS OFFICE. UG VII. OCCUPANCY B.

2ND FLOOR ROOF TERRACE: ACCESSORY RECREATION AREA. UG VII. OCCUPANCY B.

NON-SIMULTANEOUS OCCUPANCY

2ND FLOOR MEZZANINE: BUSINESS OFFICE. UG VII. OCCUPANCY B.

ROOF: CONDENSING UNITS, GREEN ROOF. UG VII, OCCUPANCY B (ACCESSORY)

IN PORTIONS OF THIS BUILDING PLANNED TO BE EVACUATED DURING FLOOD CONDITIONS, OCCUPANCY SHALL BE PROHIBITED EXCEPT FOR MAINTENANCE OR EMERGENCY PERSONNEL

ZR 33-12 MAXIMUM FLOOR AREA RATIO

ZR 33-121 IN DISTRICTS WITH BULK GOVERNED BY RESIDENCE DISTRICT BULK REGULATIONS

MAX COMMERCIAL FAR: 2.0

MAX COMMERCIAL FLOOR AREA: 2,500 X 2.0 = 5,000 SF

PROPOSED FLOOR AREA

FLOOR #	GROSS	DEDUCTIONS	ZFA
1	2,404.11	337.37	2,066.74
2	1,986.67	17.3	1,969.37
2 MEZZANINE	600.14	27.25	572.89
TOTAL	4,990.92		4,609.00

TOTAL PROPOSED COMMERCIAL ZONING FLOOR AREA: 4,609 SF, LESS THAN 5,000 SF.

PROPOSED COMMERCIAL FAR: 4,609 / 2,500 = 1.84, LESS THAN 2.00.

TOTAL PROPOSED COMMERCIAL GROSS FLOOR AREA: 4,990.92 SF.

ZR 33-25 MINIMUM REQUIRED SIDE YARDS

REQ'D: 0. PROPOSED: 0

ZR 33-26 MINIMUM REQUIRED REAR YARDS

REQ'D: 20. PROPOSED: 20' (PORTION AT REAR YARD DOES NOT EXCEED ONE STORY, EXCLUDING BASEMENT, AND DOES NOT EXCEED 23 FEET ABOVE CURB LEVEL (ZR 33-23 B3)). PROPOSED OBSTRUCTION: 10'-8 1/2" (MEASURED FROM DFE), LESS THAN 23' ABOVE CURB LEVEL.

ZR 33-431 IN C1 OR C2 DISTRICTS WITH BULK GOVERNED BY SURROUNDING RESIDENCE DISTRICT

INITIAL SETBACK DISTANCE: 20' (NARROW ST)

MAXIMUM HEIGHT OF A FRONT WALL OR OTHER PORTION OF A BUILDING OR OTHER STRUCTURE WITHIN THE INITIAL SETBACK

DISTANCE: 60 FEET OR FOUR STORIES, WHICHEVER IS LESS

HEIGHT ABOVE THE STREET LINE: 60'

SLOPE OVER ZONING LOT: 2.7 VERTICAL TO 1 HORIZONTAL

PROPOSED FRONT WALL AND BUILDING HEIGHT: 22'-3 3/8", 2 STORIES

(MEASURED FROM REFERENCE PLANE PER ZR 64-321)

ZR 36-20 REQUIRED ACCESSORY OFF-STREET PARKING SPACES FOR COMMERCIAL OR COMMUNITY FACILITY USES

REQUIRED FOR PRC A2 AND PRC A3: 1 PER 300 SF OF ZFA

4,609 / 300 = 15.3=15,

WAIVED AS PER ZR 36-361 (NOT MORE THAN 15 SPACES REQUIRED)

ZR 36-62 REQUIRED ACCESSORY OFF-STREET LOADING BERTHS

LRC-B (USE GROUP VI). REQUIRED FOR FIRST 8,000 SF OF ZFA: NONE.

LRC-C (USE GROUP VII). REQUIRED FOR FIRST 25,000 SF OF ZFA: NONE.

TOTAL REQUIRED: NONE. PROPOSED; 0

ZR 36-71 REQUIRED BICYCLE PARKING SPACES

REQUIRED:

CLOTHING AND CLOTHING ACCESSORIES RETAILER. 1 PER 10,000 SF OF ZFA = 2,066.74/10,000=0.2

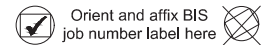
OFFICES. 1 PER 7,500 SF OF ZFA = 2,542.26 / 7,500 = 0.34

TOTAL REQUIRED: 0.2+0.34=0.54=1, WAIVED, NUMBER OF REQUIRED BICYCLE PARKING SPACES IS 3 OR LESS.



ZD1 Zoning Diagram

Must be typewritten.



Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s)	3063
Street Name	BRIGHTON 6 STREET
Borough	BROOKLYN
Block	8676
Lot	16
BIN	3244923

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)
RUSLAN GOYCHAYEV

Signature  Date **03/29/2024**

P.E. / R.A. Seal (print name, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

PLOT PLAN

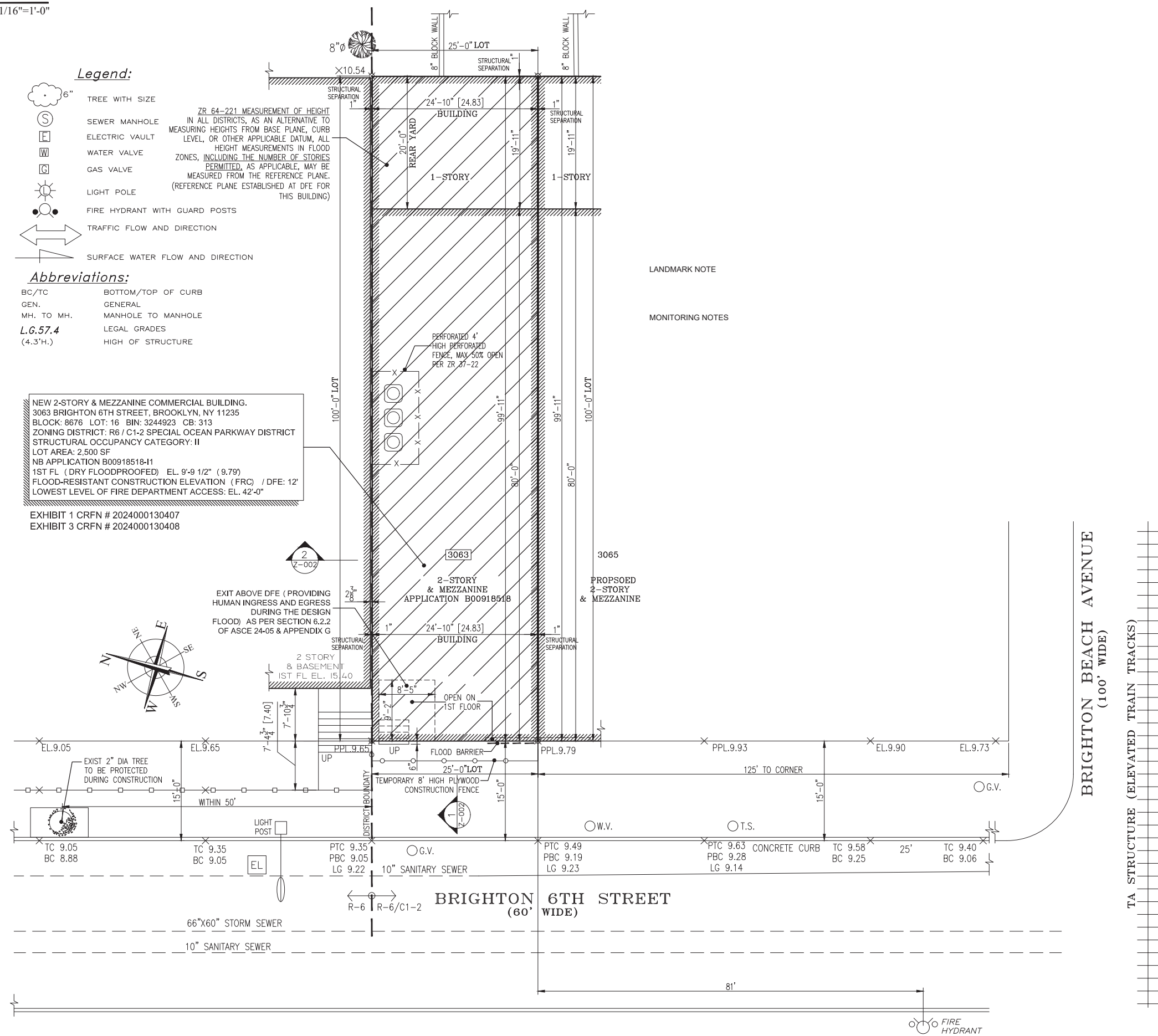
SCALE: 1/16"=1'-0"

- Legend:**
- 6" TREE WITH SIZE
 - SEWER MANHOLE
 - ELECTRIC VAULT
 - WATER VALVE
 - GAS VALVE
 - LIGHT POLE
 - FIRE HYDRANT WITH GUARD POSTS
 - TRAFFIC FLOW AND DIRECTION
 - SURFACE WATER FLOW AND DIRECTION

- Abbreviations:**
- BC/TC BOTTOM/TOP OF CURB
 - GEN. GENERAL
 - MH. TO MH. MANHOLE TO MANHOLE
 - L.G.57.4 LEGAL GRADES
 - (4.3'H.) HIGH OF STRUCTURE

NEW 2-STORY & MEZZANINE COMMERCIAL BUILDING.
 3063 BRIGHTON 6TH STREET, BROOKLYN, NY 11235
 BLOCK: 8676 LOT: 16 BIN: 3244923 CB: 313
 ZONING DISTRICT: R6 / C1-2 SPECIAL OCEAN PARKWAY DISTRICT
 STRUCTURAL OCCUPANCY CATEGORY: II
 LOT AREA: 2,500 SF
 NB APPLICATION B00918518-11
 1ST FL. (DRY FLOODPROOFED) EL. 9'-9 1/2" (9.79)
 FLOOD-RESISTANT CONSTRUCTION ELEVATION (FRC) / DFE: 12'
 LOWEST LEVEL OF FIRE DEPARTMENT ACCESS: EL. 42'-0"

EXHIBIT 1 CRFN # 2024000130407
 EXHIBIT 3 CRFN # 2024000130408



ZD1 Zoning Diagram
 Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

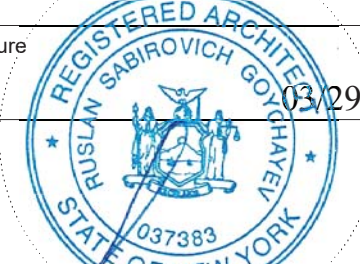
Location Information

House No(s)	3063
Street Name	BRIGHTON 6 STREET
Borough	BROOKLYN
Block	8676
Lot	16
BIN	3244923

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)
RUSLAN GOYCHAYEV

Signature _____ Date **03/29/2024**



P.E. / R.A. Seal (print name, then sign and date over seal)

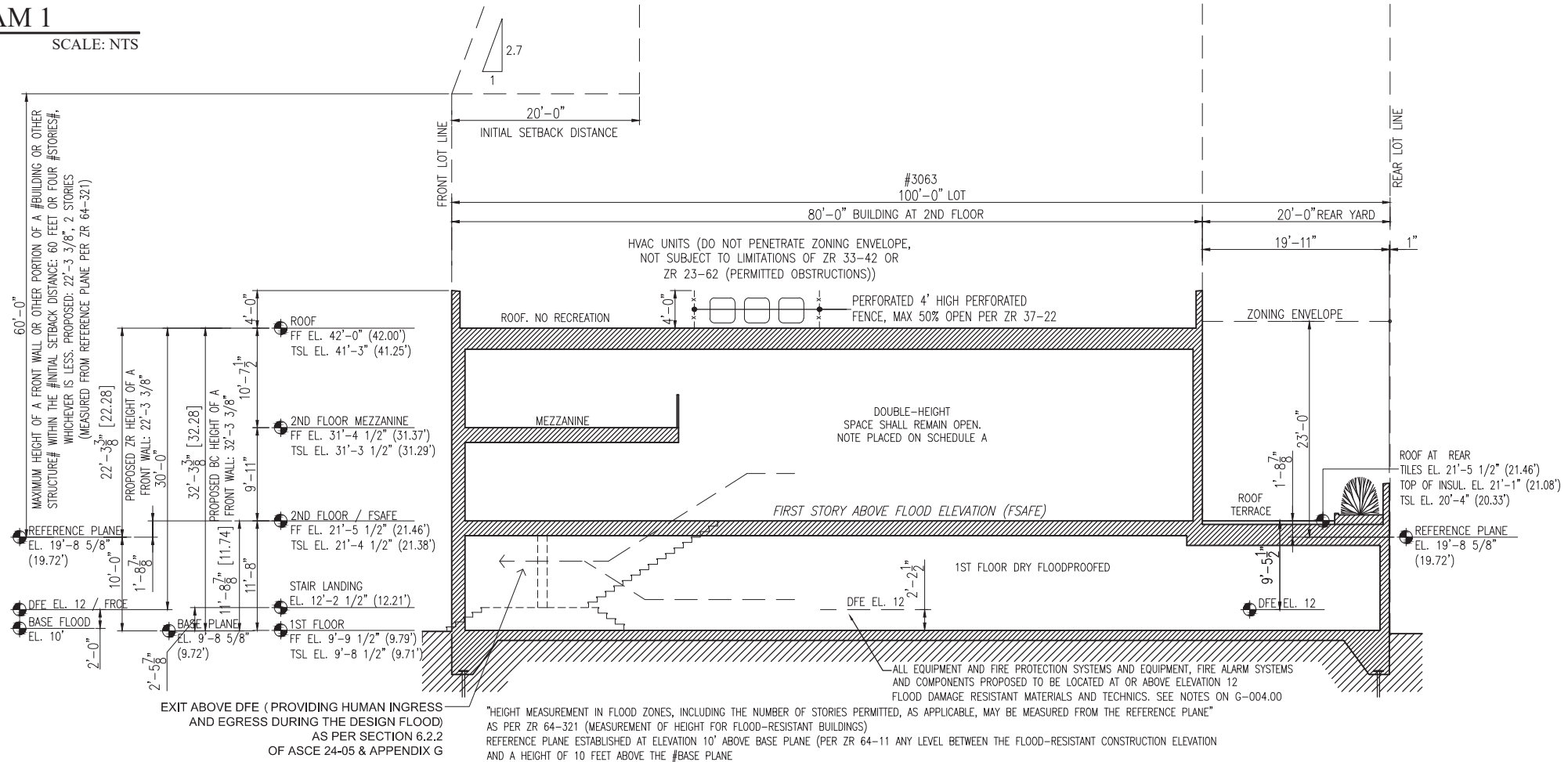
Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

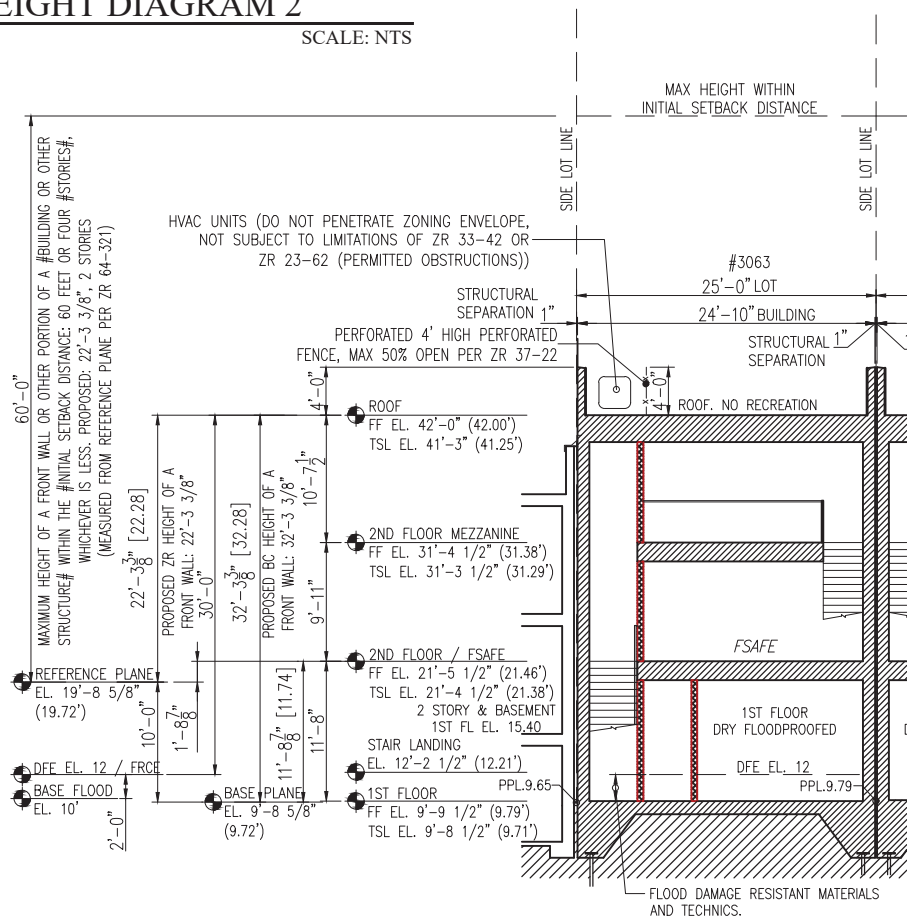
HEIGHT DIAGRAM 1

SCALE: NTS



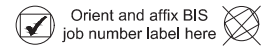
HEIGHT DIAGRAM 2

SCALE: NTS



ZD1 Zoning Diagram

Must be typewritten.



Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s) 3063
 Street Name BRIGHTON 6 STREET

Borough BROOKLYN
 Block 8676
 Lot 16
 BIN 3244923

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)

RUSLAN GOYCHAYEV

Signature



Date

P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc #

PLAN EXAMINER SIGN AND DATE

