

## ZD1 Zoning Diagram

Must be typewritten

Submitted to resolve objection stated in a notice of intent to revoke issued pursuant rule 101-15.  Yes  No

### Location Information

House No(s) 364  
 Street Name OVINGTON AVENUE  
 Borough BROOKLYN  
 Block 5891  
 Lot 43

Application No. \_\_\_\_\_

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NAME (PLEASE PRINT) \_\_\_\_\_

PANAGIOTIS VIKATOS

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



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BIS Doc # B00906653-11

PLAN EXAMINERS SIGN AND DATE

GROSS FLOOR AREA 3,800 SF  
 CELLAR (STORAGE) 4,120 SF  
 OPEN SPACE (GARAGE) 3,594.1 SF  
 BSMT 3,594.1 SF  
 1ST 3,594.1 SF  
 2ND 3,594.1 SF  
 TOTAL 18,702.3 SF

**ADDRESS:**  
 364 OVINGTON AVENUE  
 BROOKLYN, NY 11209  
 BLOCK # 5891  
 LOT # 43  
 BIN # 3398079  
 CB # 310  
 ZONING MAP # 22a  
 LOT AREA: (64'-0" x 115'-0") + (16'-0" x 35'-0") = 7,920 SF  
 ZONING DISTRICT: R5B, BR (SPECIAL BAYRIDGE DISTRICT)

**PERMITTED USE GROUPS:**  
 RESIDENTIAL, COMMUNITY FACILITY

**SCOPE OF WORK:**  
 PROPOSED NEW 2 STORY AND BASEMENT WITH CELLAR RESIDENTIAL BUILDING.

**ZONING ANALYSIS:**  
 ZONING DISTRICT : R5B (BR) ZR 114-10 SPECIAL BULK REGULATIONS  
 ZR 114-11 SPECIAL FLOOR AREA REGULATIONS:  
 N/A (RESIDENTIAL ONLY PROPOSED)  
 ZR 114-122 MAX BUILDING HEIGHT AND SETBACK  
 N/A (RESIDENTIAL ONLY PROPOSED)

**PERMITTED FLOOR AREA RATIO:**  
 ZR 23-142 R5B PERMITTED FAR = 1.35;  
 PERMITTED FLOOR AREA = (7,920 x 1.35) = 10,692 SF

**PROPOSED FLOOR AREA:**  
 (REFER TO SHEET Z-002.00)  
 BASEMENT = 3,561.9 S.F.  
 FIRST FLOOR = 3,564.7 SF  
 SECOND FLOOR = 3,564.7 SF  
 TOTAL PROPOSED F.A. = 10,691.3 SF < 10,692 SF

**ZR 23-03 STREET TREE PLANTING**  
 ZR 23-03(a) - DEVELOPMENTS  
 PROVIDE STREET TREES AS PER ZR 26-41  
 ONE (1) TREE FOR EVERY 25'-0" OF STREET FRONTAGE  
 STREET FRONTAGE: 80'-0" / 25 = THREE (3) TREES REQUIRED  
 ONE (1) EXISTING, TWO (2) TREES REQUIRED, TWO (2) TREES PROPOSED ON SITE . EXACT LOCATION TO BE DETERMINED BY THE DEPARTMENT OF PARKS & RECREATION

**ZR 23-451 PLANTING REQUIREMENT**  
 R5  
 STREET FRONTAGE = 80'-0" (60' OR GREATER)  
 PERCENTAGE OF FRONT YARD TO BE PLANTED = 50%  
 FRONT YARD PROPOSED = 16'-10" x 80'-0" = 1,347 SF  
 FRONT YARD PLANTING REQUIRED = 1,347 x 0.5 = 674 SF  
 [(20'-11"+26'-1") x 16'-10"] + [(19'-0" x 11'-6") = 55'-5" x 16'-10" = 1,009 SF > 674 SF

**ZR 23-04 PLANTING STRIP**  
 ZR 23-04(a) - DEVELOPMENTS  
 PROVIDE PLANTING STRIP AS PER ZR 26-42  
 PLANTING STRIP PROVIDED SEE SITE PLAN

**PERMITTED LOT COVERAGE:**  
 ZR 23-142 PERMITTED LOT COVERAGE = 55%  
 MAXIMUM LOT COVERAGE = 7,920 x 0.55 = 4,356 SF  
 PROPOSED LOT COVERAGE = 3,594.1 < 4,356 SF

**ZR 23-22 DENSITY:**  
 R5B = 10,692 / 900 = 11.88 = 12 D.U. ALLOWED  
 PROPOSED 12 D.U. = 12 D.U.

**ZR 23-32 MIN LOT AREA / LOT WIDTH:**  
 ALL OTHERS  
 MIN LOT AREA = 1,700 S.F., EXISTING LOT AREA = 7,920 S.F.  
 MIN LOT WIDTH = 18'-0", EXIST. LOT WIDTH = 80'-0"

**FRONT YARD:**  
 ZR 23-45 R5B, INTERIOR LOT 5'-0" REQUIRED,  
 (b)(2) NO DEEPER THAN THE DEEPEST ADJACENT FRONT YARD AND NO SHALLOWER THAN THE SHALLOWEST ADJACENT FRONT YARD & SHALL NOT EXCEED 20'-0" EXISTING ADJACENT FRONT YARD = 16'-8"  
 PROPOSED FRONT YARD = 16'-8"

**SIDEYARDS:**  
 R5B ZR 23-462(b), MINIMUM REQUIRED SIDE YARDS  
 NO SIDEYARDS REQUIRED, HOWEVER, IF ADJACENT BUILDING WITH RESIDENCIES HAS SIDEYARD THEN AN OPEN AREA WITH MIN 8'-0" PARALLEL TO SIDE LOT LINE IS REQUIRED  
 EXIST. ADJACENT BUILDING WITH RESIDENCIES HAS NO SIDEYARD

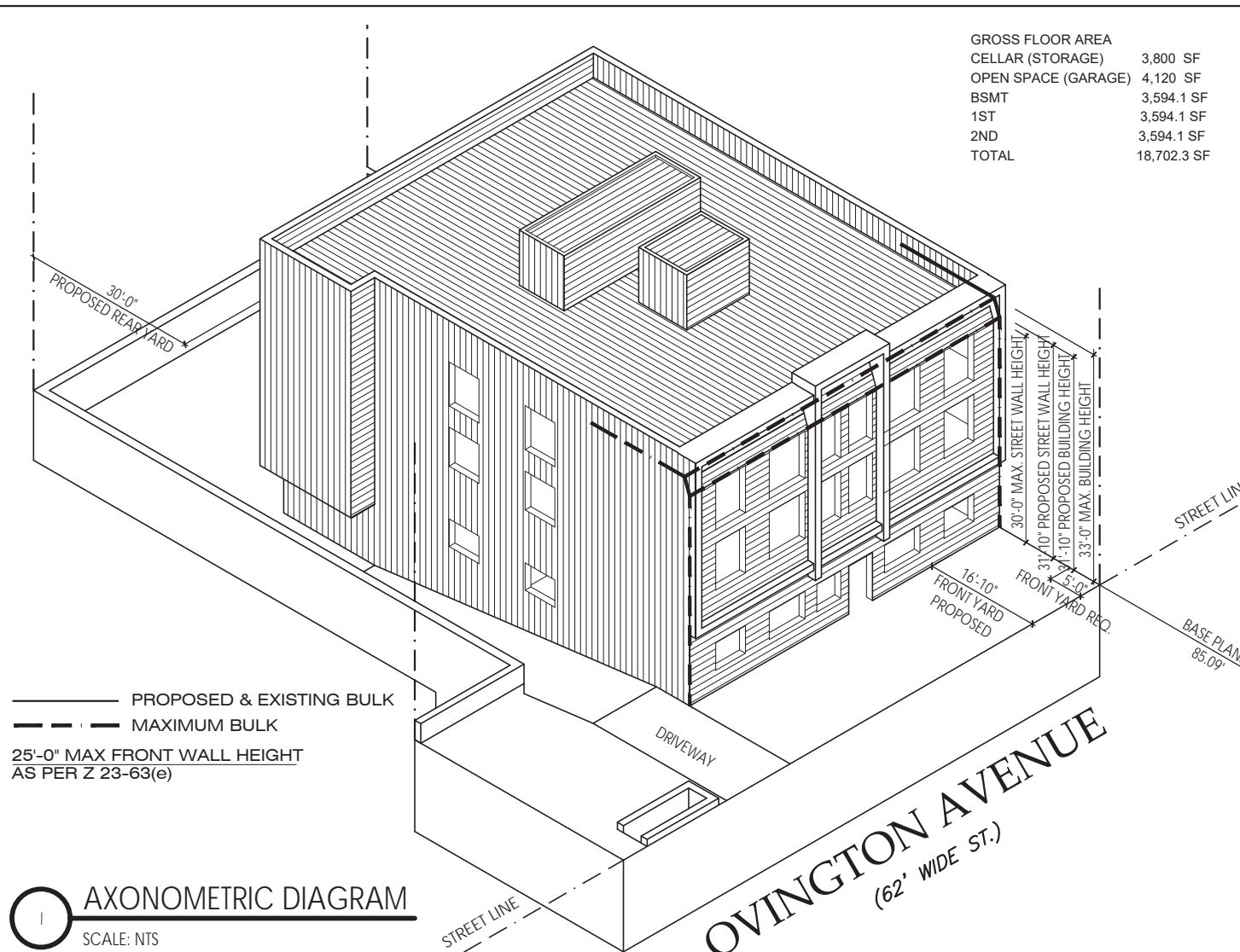
PROPOSED SIDEYARDS IS 8'-0" AND 0'-0"

**REAR YARD:**  
 (ZR 23-47) REAR YARD REQUIRED = 30'-0"  
 PROPOSED REAR YARD 30'-0" OK

**HEIGHT AND SETBACK REGULATIONS:**  
 ZR 23-631(e)  
 MAX BUILDING HEIGHT ABOVE BASE PLANE SHALL BE 33'-0"  
 MAX STREETWALL HEIGHT ABOVE BASE PLANE SHALL BE 30'-0"  
 ABOVE SUCH STREETWALL NO PORTION OF THE BUILDING SHALL PENETRATE A PLANE RISING FROM THE MAX STREET WALL HEIGHT AT 20° HORIZONTAL TO MAXIMUM BUILDING HEIGHT  
 PROPOSED STREETWALL = 30'-0"  
 PROPOSED BUILDING HEIGHT = 33'-0"

**REQUIRED PARKING:**  
 ZR 25-23 RESIDENTIAL, R5B , REQD PARKING = 66% OF PROPOSED D.U.  
 PROPOSED D.U. = 0.66 x 12 = 7.92 => 8 SPACES REQUIRED  
 8 SPACES PROPOSED AT CELLARLEVEL (OPEN GARAGE)

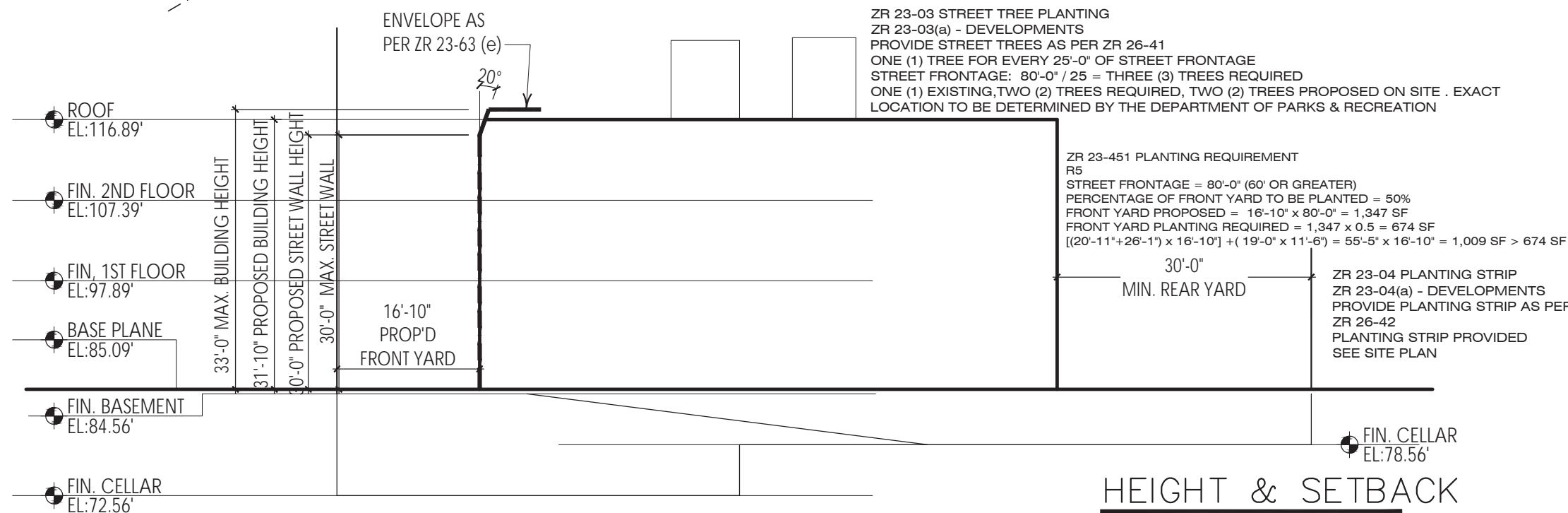
**BICYCLE PARKING:**  
 (ZR 25-811) FOR ENCLOSED BICYCLE PARKING SPACE:  
 UG 2 RESIDENTIAL 1 per 2 D.U. , PROPOSED D.U. = 12 , THEREFORE = 6 SPACES REQUIRED  
 6 PROPOSED



— PROPOSED & EXISTING BULK  
 - - - MAXIMUM BULK  
 25'-0" MAX FRONT WALL HEIGHT AS PER Z 23-63(e)

### AXONOMETRIC DIAGRAM

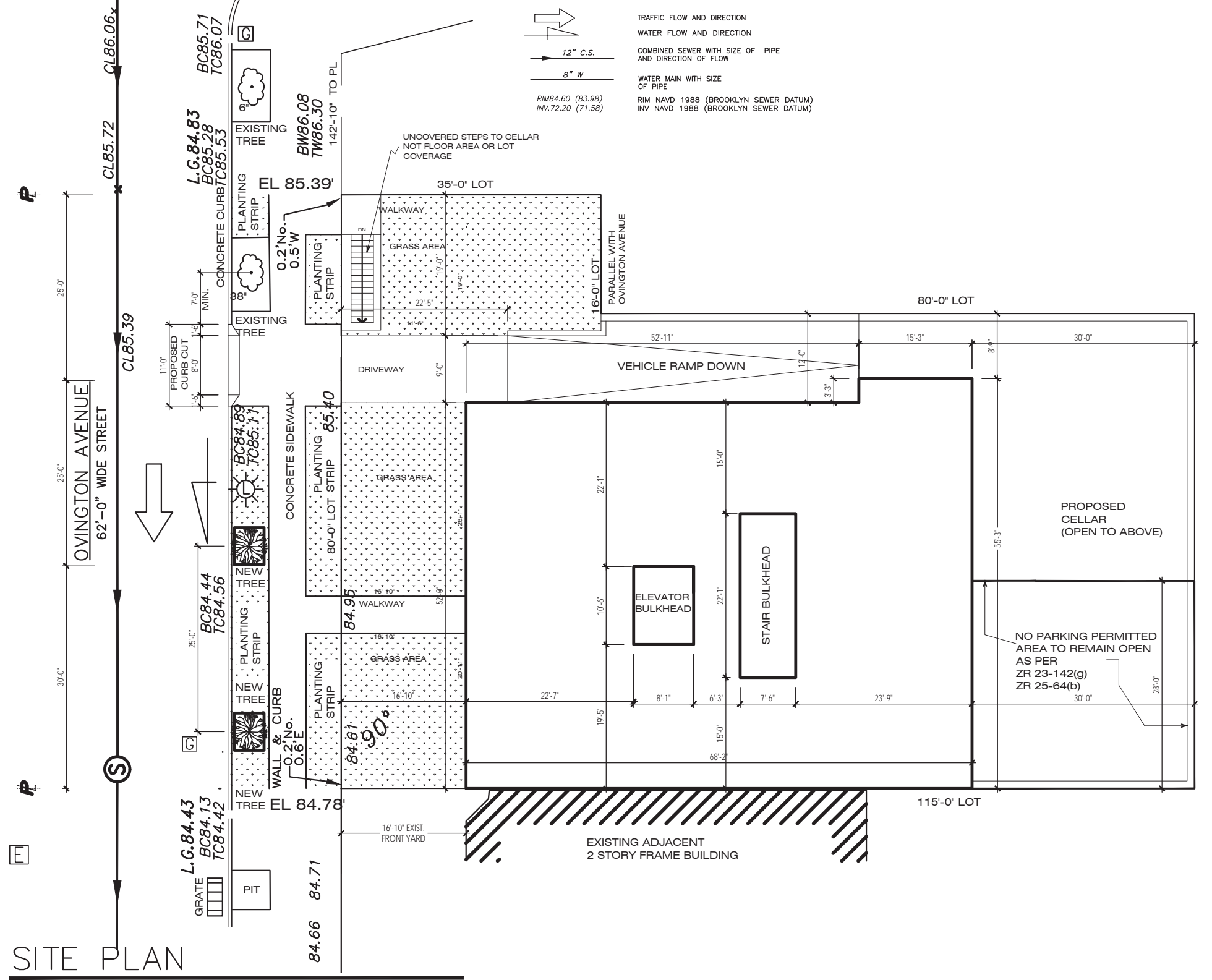
SCALE: NTS



### HEIGHT & SETBACK

SCALE: 3/16" = 1'-0"

BLOCK 5891



**LEGEND:**

	TREE WITH SIZE		
	SEWER MANHOLE	BW/TW	BOTTOM/TOP OF WALL
	ELECTRIC MANHOLE	BC/TC	BOTTOM/TOP OF CURB
	ELECTRIC VAULT	GEN.	GENERAL
	GAS VALVE	L.G.	LEGAL GRADES
	LIGHTPOLE	GR.	GRATE
	ROUND DRAIN	So., No.	SOUTH, NORTH
	TRAFFIC FLOW AND DIRECTION	CH.L.I.F.E.	CHAIN LINK FENCE
	WATER FLOW AND DIRECTION	N.T.S.	NOT TO SCALE
	COMBINED SEWER WITH SIZE OF PIPE AND DIRECTION OF FLOW		
	WATER MAIN WITH SIZE OF PIPE		

**ABBREVIATIONS:**

RIM 84.60 (83.98)  
INV. 72.20 (71.58)

RIM NAVD 1988 (BROOKLYN SEWER DATUM)  
INV NAVD 1988 (BROOKLYN SEWER DATUM)

SITE PLAN

SCALE: 1/16" = 1'-0"

**NYC**  
BuildingS

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