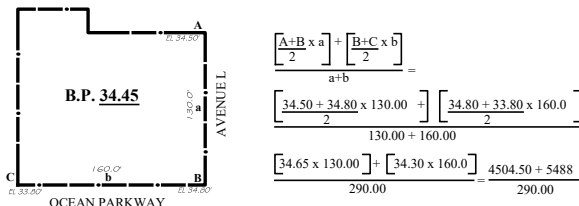
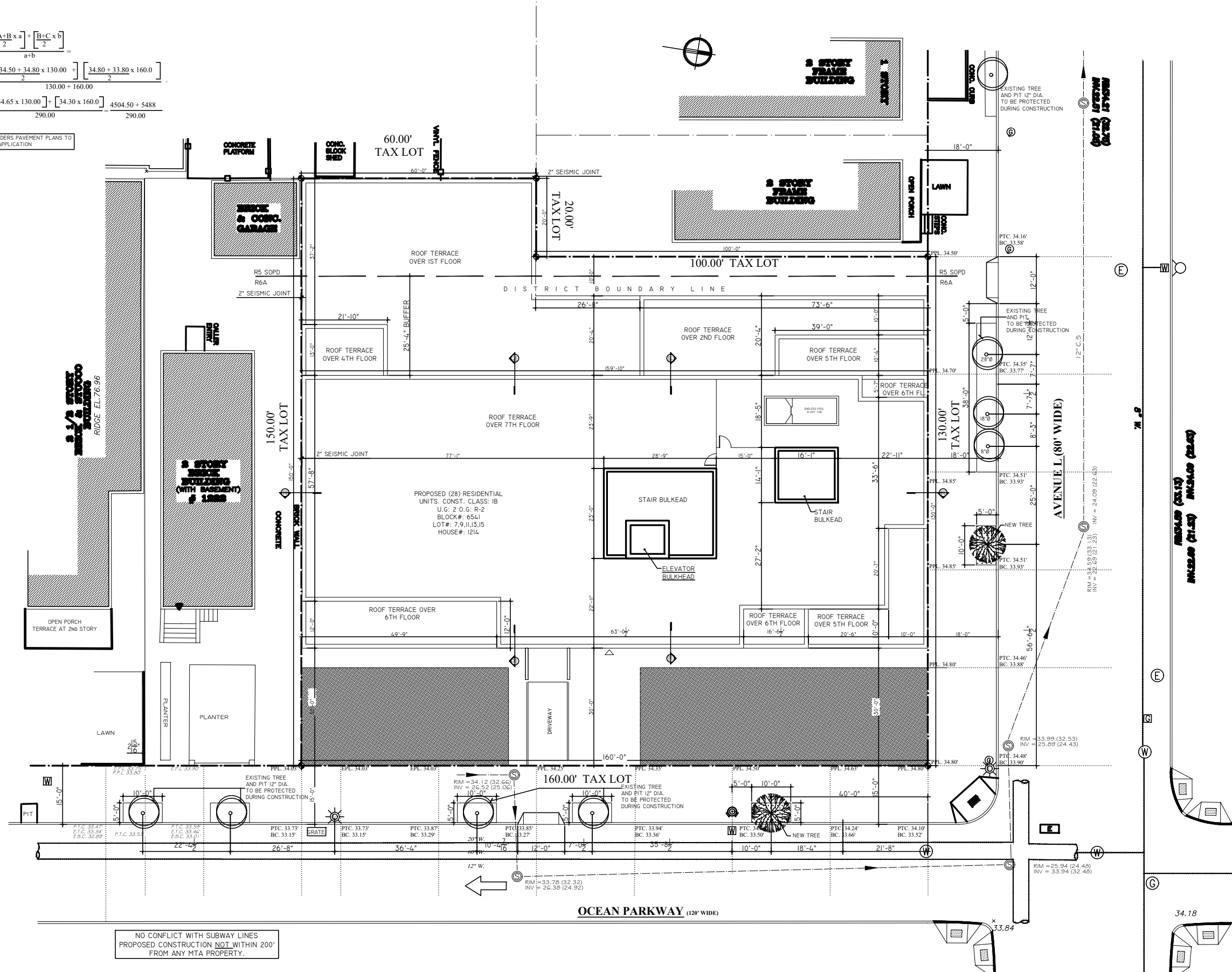


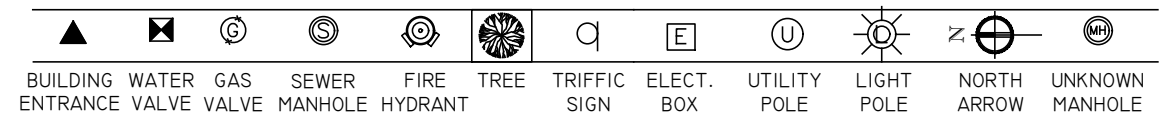
BASE PLANE CALC.



NOTE: ELEVATIONS ARE PER PROPOSED BUILDERS PAVEMENT PLANS TO BE FILED UNDER SEPARATE APPLICATION



NO CONFLICT WITH SUBWAY LINES
PROPOSED CONSTRUCTION NOT WITHIN 200'
FROM ANY MTA PROPERTY.



ZD1 Zoning Diagram
Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

Location Information

House No(s)	1214
Street Name	OCEAN PARKWAY
Borough	BROOKLYN
Block	6541
Lot	7,9,11,13,15
BIN	3171711

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Name (please print)

Signature _____ Date _____



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

1214 OCEAN PARKWAY, BROOKLYN NEW YORK 11230

ZONING DISTRICT:		ZONING CALCULATIONS	
Q.H.	R6A/ R5 SOPD	BLOCK:	6541
ZONING MAP:	22d	LOT(S):	7,9,11,13,15

LOT INFORMATION:	FRONTAGE	DEPTH	TOTAL AREA	% of LOT
LOT AREA =	IRREGULAR		22,000.00 SF.	100.00%
		PORTION WITHIN A CORNER	10,000.00 SF.	45.45%
		PORTION BEYOND CORNER	12,000.00 SF.	54.55%
		PORTION WITHIN R6A ZONE	20,000.00 SF.	90.91%
		PORTION WITHIN R5 ZONE	2,000.00 SF.	9.09%

STREET INFORMATION:	FRONTAGE	WIDTH
OCEAN PARKWAY	160.0'	210.00' (WIDE STREET)
AVENUE L	130.00'	80.00' (WIDE STREET)

LOT COVERAGE (ZR 23-153)		CORNER & INTERIOR LOT	
RESIDENTIAL - CORNER			
MAX LOT COVERAGE RATIO		LOT AREA	MAX LOT COVERAGE
100%	X	10,000.00 SF.	10,000.00 SF.
RESIDENTIAL - NON-CORNER (R5)			
MAX LOT COVERAGE RATIO		LOT AREA	MAX LOT COVERAGE
55%	X	2,000.00 SF.	1,100.00 SF.
RESIDENTIAL - NON-CORNER (R6A)			
MAX LOT COVERAGE RATIO		LOT AREA	MAX LOT COVERAGE
65%	X	10,000.00 SF.	6,500.00 SF.
TOTAL ALLOWABLE RESIDENTIAL LOT COVERAGE		16,500.00 SF.	
PROPOSED LC RATIO		PROPOSED LOT COVERAGE	
80.4%		13,271.28 SF.	OK

FLOOR AREA RATIOS				
ADJUSTED RESIDENTIAL FLOOR AREA RATIO (ZR 77-22)				
		FAR	% of LOT	ADJUSTED FAR
RESIDENTIAL (ZR 23-153)	R6A	3.00	90.91%	2.73
RESIDENTIAL (ZR 113-51)	R5	1.50	9.09%	0.136
		TOTAL		2.86
MAX. FLOOR AREA RATIO (ZR 77-22)				
		FAR	LOT AREA	MAX ALLOWED FA
RESIDENTIAL (ZR 23-153)	R6A	2.86	22,000.00 SF.	62,920.00 SF.

PROPOSED FLOOR AREA												
RESIDENTIAL FLOOR AREA		DEDUCTIONS										ZONING FA
FLOOR	GROSS FA	EXTERIOR WALL	CORRIDOR	CHASE WALL	RECREATION AREA	REFUSE	MECH	OPEN TO BELOW	PARKING AREA	TOTAL DEDUCTIONS		
CELLAR	15,628.50 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	8,173.82 SF.	0.00 SF.	0.00 SF.	
1st FLOOR	15,907.56 SF.	232.84 SF.	1,820.27 SF.	41.56 SF.	0.00 SF.	12.00 SF.	30.92 SF.	76.31 SF.	7,821.27 SF.	10,035.17 SF.	5,872.39 SF.	
2nd FLOOR	12,890.83 SF.	298.78 SF.	611.19 SF.	130.48 SF.	2,061.89 SF.	12.00 SF.	26.39 SF.	1,094.96 SF.	0.00 SF.	4,235.69 SF.	8,655.14 SF.	
3rd FLOOR	11,489.14 SF.	283.61 SF.	796.25 SF.	166.76 SF.	0.00 SF.	12.00 SF.	87.84 SF.	0.00 SF.	0.00 SF.	1,346.46 SF.	10,142.68 SF.	
4th FLOOR	11,489.14 SF.	283.62 SF.	796.25 SF.	161.67 SF.	0.00 SF.	12.00 SF.	86.39 SF.	0.00 SF.	0.00 SF.	1,339.93 SF.	10,149.21 SF.	
5th FLOOR	11,205.31 SF.	274.94 SF.	796.25 SF.	164.95 SF.	0.00 SF.	12.00 SF.	83.71 SF.	0.00 SF.	0.00 SF.	1,331.85 SF.	9,873.46 SF.	
6th FLOOR	10,375.47 SF.	256.37 SF.	413.75 SF.	148.91 SF.	0.00 SF.	12.00 SF.	96.34 SF.	0.00 SF.	0.00 SF.	927.37 SF.	9,448.10 SF.	
7th FLOOR	9,768.19 SF.	253.60 SF.	197.92 SF.	120.79 SF.	0.00 SF.	12.00 SF.	48.46 SF.	0.00 SF.	0.00 SF.	1,364.15 SF.	8,404.04 SF.	
ROOF/BH	818.94 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	0.00 SF.	
	98,754.14 SF.	1,883.76 SF.	5,431.88 SF.	935.12 SF.	2,061.89 SF.	84.00 SF.	460.05 SF.	1,902.65 SF.	15,995.09 SF.	20,580.62 SF.	62,545.02 SF.	

PROPOSED RESIDENTIAL ZONING FLOOR AREA				
		ZFA	FAR	OK
		62,545.02 SF.	2.86	
MAX ALLOWED RESIDENTIAL FLOOR AREA				
			2.86	
		62,920.00 SF.		

DENSITY REGULATIONS (ZR 23-22)					
MAX. NO. OF DU SHALL EQUAL THE MAX. RESIDENTIAL FLOOR AREA PERMITTED FOR THE ZONING LOT, DIVIDED BY THE APPLICABLE FACTOR FOR THE ZONING DISTRICT. FOR LOTS CONTAINING MIXED-USE BUILDINGS THE MAX. NUMBER OF DU SHALL BE THE MAX. FLOOR AREA PERMITTED MINUS THE AMOUNT OF NON-RESIDENTIAL FLOOR AREA.					
MAX FLOOR AREA PERMITTED	PERMITTED RESIDENTIAL FA	FACTOR OF 680	MAX DU	PROPOSED DU	
2.86	62,920.00 SF.	680.00 SF.	92.53	28.00	

YARD REGULATIONS				
	MIN. REQUIRED	PROPOSED		
FRONT YARD (ZR 113-12)	30'-0"	30'-0"	OK	
SIDE YARD (ZR 23-462)(113-543)	0'-0" / 8'-0"	0'-0" / 10'-0"	OK	
REAR YARD (ZR 23-47)(113-544)	30'-0" / 20'-0"	38'-8"	OK	

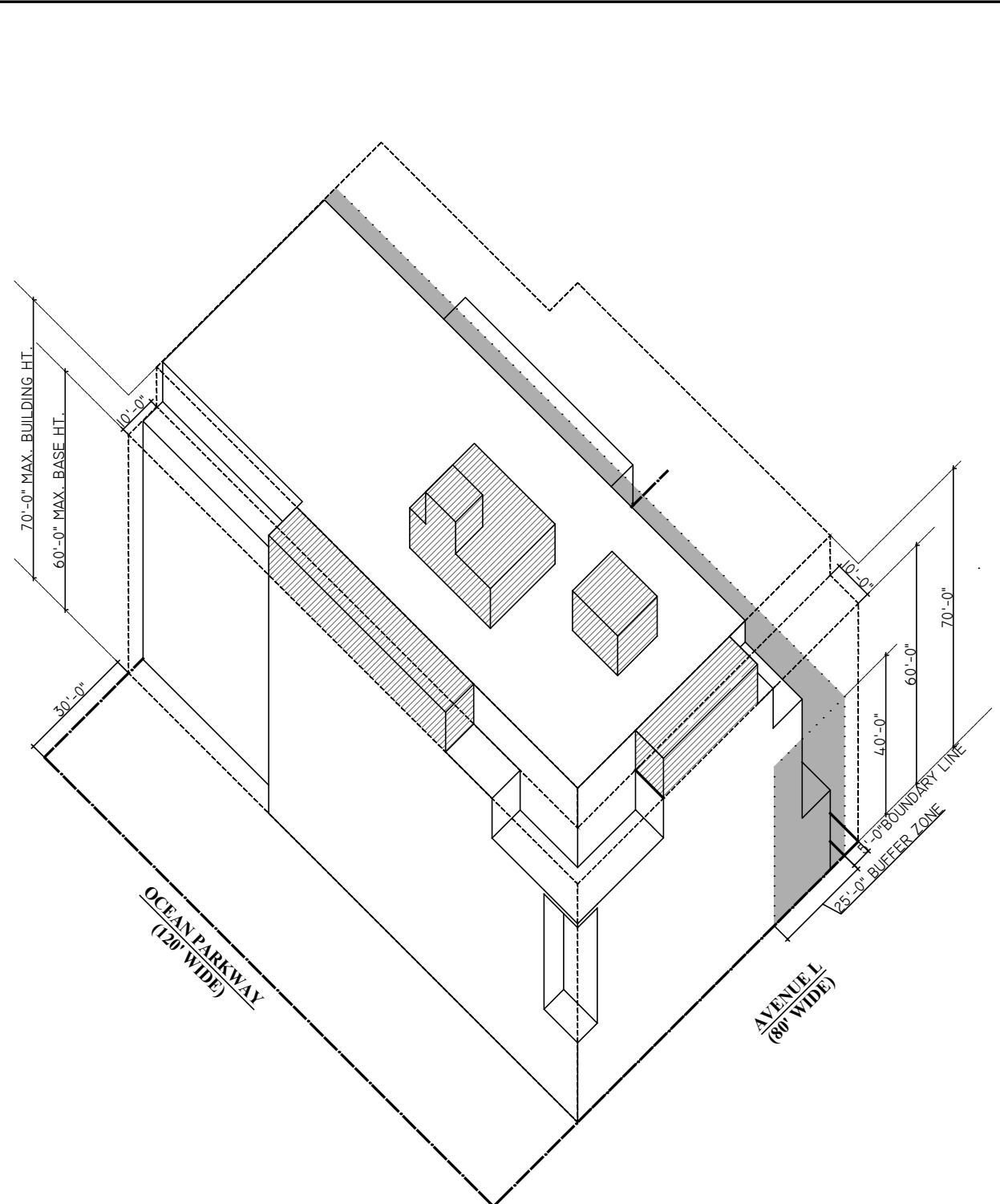
HEIGHT REGULATIONS (ZR 23-662b Table1)				
	REQUIRED	PROPOSED		
MIN. BASE HEIGHT	40'-0"	60'-0"	OK	
MAX. BASE HEIGHT	60'-0"	60'-0"	OK	
MAX. BUILDING HEIGHT	70'-0"	70'-0"	OK	

SETBACKS (ZR 23-662)				
FRONTAGE	MIN. REQUIRED	PROPOSED		
OCEAN PARKWAY (WIDE ST)	10'-0"	10'-0"		
AVENUE L (WIDE ST)	10'-0"	10'-0"		

PARKING REGULATIONS				
RESIDENTIAL PARKING (ZR 113-562)				
One accessory off-street parking space shall be provided for each dwelling unit.				
PROPOSED DU	REQUIRED 1/ DU	SPACES REQUIRED	SPACES PROVIDED	
28.00	X	1	28	37
				OK

STREET TREE PLANTING (ZR 33-03 & 26-41)				
ONE STREET TREE REQUIRED FOR EVERY 25'-0" OF STREET FRONTAGE				
STREET FRONTAGE	FACTOR: 1 PER 25.0'	TREES REQUIRED	PROPOSED	
OCEAN PARKWAY	160	6.4	5 EXISTING TREES TO REMAIN	
AVENUE L	130	5.2	2 TREES TO BE PLANTED ON SITE	
		12	5 TREES TO BE PAID INTO THE TREE FUND	

ABBREVIATIONS			
FAR = FLOOR AREA RATIO	DU = DWELLING UNIT	COM = COMMERCIAL	ZFA = ZONING FLOOR AREA
FA = FLOOR AREA	LC = LOT COVERAGE	RES = RESIDENTIAL	MAX = MAXIMUM



ZD1 Zoning Diagram
Must be typewritten.

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Location Information	
House No(s)	1214
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Borough	BROOKLYN
Block	6541
Lot	7,9,11,13,15
BIN	3171711

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Name (please print):

Signature: *Francisco Nunez* Date: 02/29/2024

P.E. / R.A. Seal (apply seal, then sign and date over seal)

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House No(s) 1214
 Street Name OCEAN PARKWAY
 Borough BROOKLYN
 Block 6541
 Lot 7,9,11,13,15
 BIN 3171711

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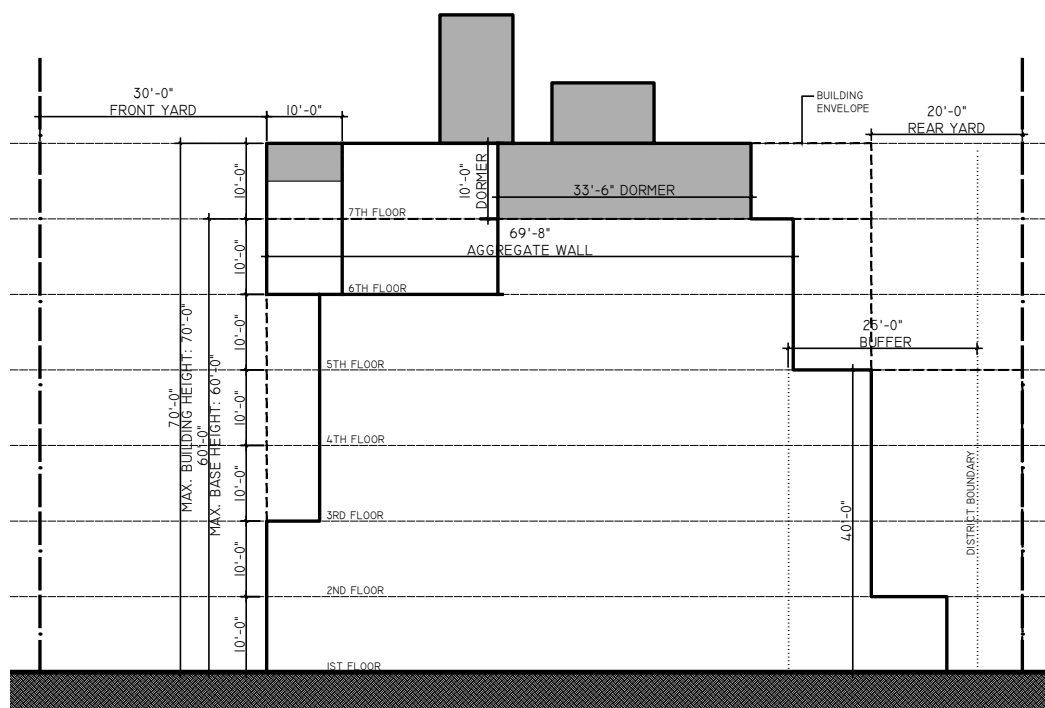


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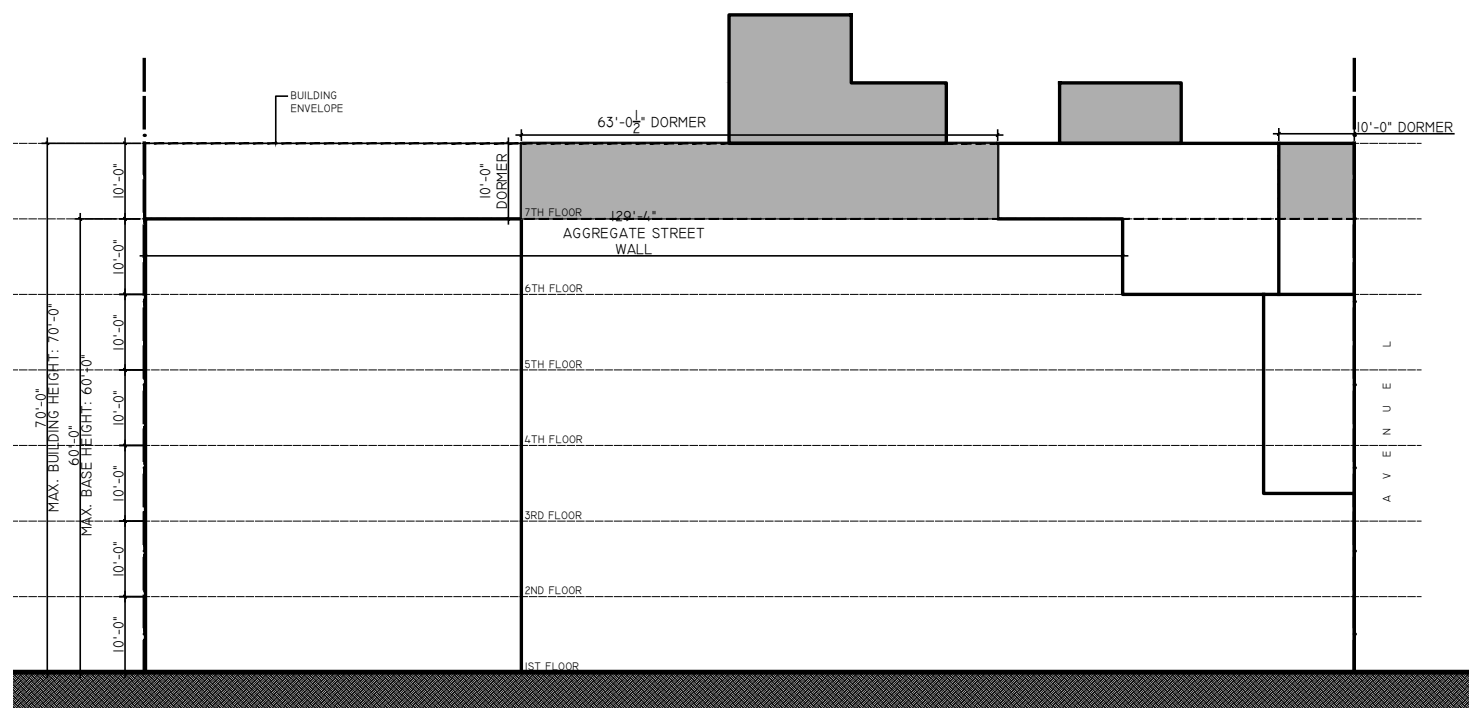
DORMER COMPUTATION

DORMER - PERMITTED OBSTRUCTION CALCULATIONS (ZR23-621C)
 MAX. PERMITTED OBSTRUCTION: 60% OF THE LENGTH OF STREET WALL.
 BASE HEIGHT OBSTRUCTION: DEDUCT 1% PER FOOT ABOVE THE MAX. BASE HEIGHT.

DORMER AT 7TH FLOOR:			
MAX. PERMITTED OBSTRUCTION	BASE HEIGHT OBSTRUCTION	=	PERMITTED OBSTRUCTION PERCENTAGE
60%	10.0'	=	50%
AGGREGATE STREET WALL	PERMITTED OBSTRUCTION %	=	PERMITTED DORMER OBSTRUCTION
69.66'	x 50%	=	34.83'

TOTAL LENGTH OF DORMER: 33.5' < 34.83'

 DENOTES DORMER AND PERMITTED



DORMER COMPUTATION

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DORMER AT 7TH FLOOR:			
MAX. PERMITTED OBSTRUCTION	BASE HEIGHT OBSTRUCTION	=	PERMITTED OBSTRUCTION PERCENTAGE
60%	10.0'	=	50%
AGGREGATE STREET WALL	PERMITTED OBSTRUCTION %	=	PERMITTED DORMER OBSTRUCTION
129.33'	x 50%	=	64.66'

TOTAL LENGTH OF DORMER: 63.04' < 64.66'

 DENOTES DORMER AND PERMITTED OBSTRUCTION

