



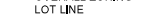



LEGEND

-  SUBJECT BUILDING
-  EXISTING TREE
-  PROPOSED TREE
-  OVERALL ZONING LOT LINE
-  ZONING DISTRICT DELINEATION LINE
-  TAX LOT DELINEATION LINE

SITE PLAN DIAGRAM
1" = 80'-0"

LOT COVERAGE
BUILDING C / R6A ZONING DISTRICT AREA:
8,496 S.F. / 50,000 S.F. = 17%
AS PER ZR 23-153

BUILDING C / R7D/C1-4 ZONING DISTRICT AREA:
2,970 S.F. / 5,000 S.F. = 59%
AS PER ZR 23-153

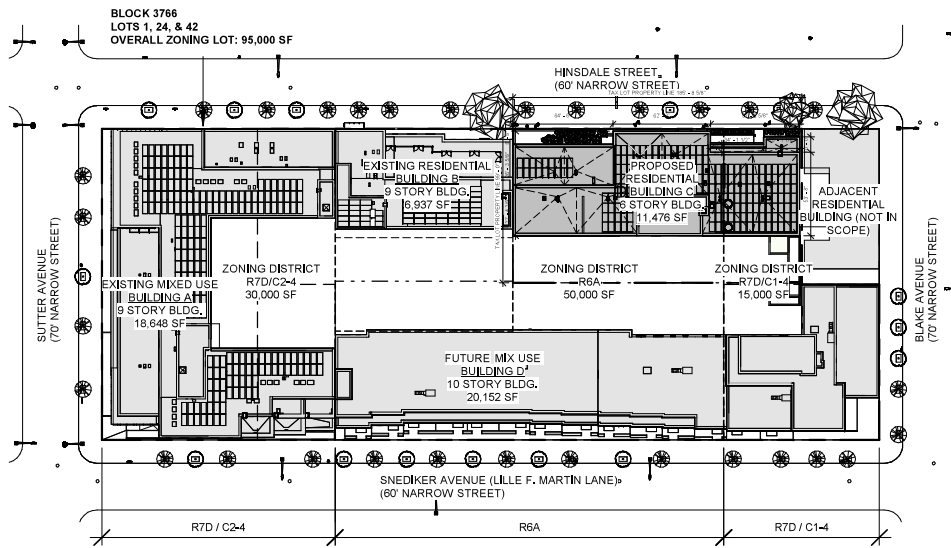
LOT AREA
R6A: 50,000 S.F., > 1,700 S.F., COMPLIES
AS PER ZR 23-32

R7D: 5,000 S.F., > 1,700 S.F., COMPLIES
AS PER ZR 23-32

YARDS:
REAR YARD EQUIVALENT THROUGH LOT: 60'-0"
AS PER ZR 23-533

FRONT YARD: NONE
AS PER ZR 23-45

SIDE YARD: NONE
AS PER ZR 23-46



ZD1 Zoning Diagram
Must be typewritten.

Orient and affix BIS job number label here

DOB APP #: B00873882

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No


Location Information

House No(s) **314**
Street Name **HINSDALE STREET**

Borough **BROOKLYN**
Block **03766**
Lot **0042**
BIN **3429657**

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print)
MATT MELODY

Signature  Date **9/27/24**



Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

PROPOSED NEW BUILDING AXONOMETRIC DIAGRAM

REQUIRED SETBACKS
REAR YARD EQUIVALENT THROUGH LOT: 60'-0"
AS PER ZR 33-283

FRONT YARD: NONE; AS PER ZR 23-45

SIDE YARD: NONE; AS PER ZR 23-46

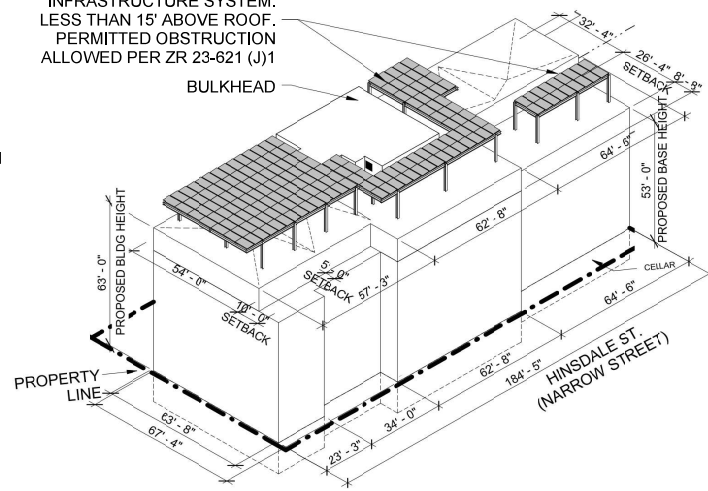
SOLAR ENERGY INFRASTRUCTURE SYSTEM. LESS THAN 15' ABOVE ROOF. PERMITTED OBSTRUCTION ALLOWED PER ZR 23-621 (J)1

PERMITTED OBSTRUCTIONS
BULKHEADS AS PER ZR 23-62(g)

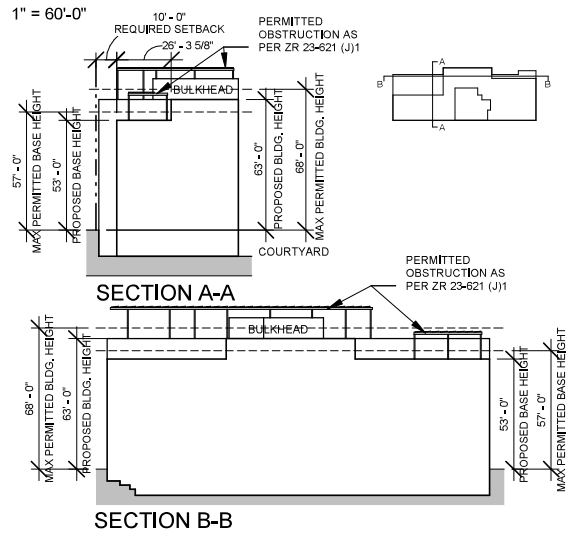
SOLAR PV ARRAY AS PER ZR 23-621 (J)1

53'-0" STREET WALL PROPOSED
57'-0" MAX BASE HEIGHT
AS PER ZR 23-662, 35-652 & 654

63'-0" BUILDING HEIGHT PROPOSED
68'-0" MAX BUILDING HEIGHT
AS PER ZR 23-662, 35-652 & 654



SECTIONAL DIAGRAM
1" = 60'-0"





ZD1 Zoning Diagram

Must be typewritten.
Sheet 1 of 1

1 Applicant Information Required for all applications.

Last Name	MELODY	First Name	MATTHEW	Middle Initial	B
Business Name	CURTIS + GINSBERG ARCHITECTS LLP		Business Telephone	(212) 929-4417	
Business Address	55 BROAD STREET FL 8		Business Fax		
City	NEW YORK	State	NY	Zip	10004
E-Mail	MATT@CPLUSGA.COM		Mobile Telephone	(212) 929-4417	
			License Number	035620	

2 Additional Zoning Characteristics Required as applicable.

Dwelling Units	79	Parking area	0	sq. ft.	0	Parking Spaces: Total	0	Enclosed	0
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3 BSA and/or CPC Approval for Subject Application Required as applicable.

Board of Standards & Appeals (BSA)

- Variance Cal. No. _____ Authorizing Zoning Section 72-21
- Special Permit Cal. No. _____ Authorizing Zoning Section _____
- General City Law Waiver Cal. No. _____ General City Law Section _____
- Other Cal. No. _____

City Planning Commission (CPC)

- Special Permit ULURP No. _____ Authorizing Zoning Section _____
- Authorization App. No. _____ Authorizing Zoning Section _____
- Certification App. No. _____ Authorizing Zoning Section _____
- Other App. No. _____

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
R6A CEL	8356	2	0				0.00
R6A 001	8293	2	7158				0.14
R6A 002	8496	2	7553				0.15
R6A 003	8496	2	7526				0.15
R6A 004	8496	2	7507				0.15
R6A 005	8496	2	7507				0.15
R6A 006	6753	2	5083				0.12
R6A ROF	1608	2	0				0.00
R6A Total	58992		43053				0.86
R7D CEL	2988	2	0				0.00
R7D 001	2967	2	2669				0.18
R7D 002	2970	2	2667				0.18
R7D 003	2970	2	2665				0.18

ZD1

Sheet ____ of ____

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
R7D 004	2970	2	2664				0.18
R7D 005	2970	2	2668				0.18
R7D 006	2611	2	2327				0.16
R7D ROF	0	2	0				0.00
R7D Total	20448		15659				1.04
BLDG C TOTALS	79440		58712				1.9
BLDG A (R7D)		3		143,654			
BLDG A (C2-4)		6			1908		
BLDG B (R6A)		2	39,633				
BLDG D (R6A)		2	77,434				
BLDG D (C1-4)		6			2,106		
R6A TOTAL ZONING		2	161,100				
R7D TOTAL ZONING		3		143,654			
C2-4 TOTAL ZONING		6			1,908		
C1-4 TOTAL ZONING		6			2,106		
Totals	79440		238,534	143,654	4,014		4.06

Total Zoning Floor Area	386,202
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