

ADDRESS: 630-646 GRAND AVE., a.k.a. 395-403 PROSPECT PL., BROOKLYN, NY 11211

BLOCK: 1154
LOT: 24, 27, 29
MAP: 16c
ZONE: R6B, R6A/C2-4
C.B.: 308
BIN#: 3396281
C OF O: NEW

USE GROUP: 2
OCC. GROUP: R-2
CONSTR. CL: I-B
FIRE INDEX: 2
OUTSIDE INCLUSIONARY HOUSING DESIGNATED AREA
OUTSIDE FLOOD A-ZONE
OUTSIDE 200 FEET RADIUS OF MTA SUBWAY LINES

Zoning Lot Size: 131'-0" x 69'-7" irregular
Zoning Lot Area in R6B ZD: 5,908.6 sf (43.5%)
Zoning Lot Area in R6A/C2-4 ZD: 7,688.4 sf (56.5%)
Total Zoning Lot Area: 13,597.0 sf (100%)

Proposed Building is designed pursuant to the Quality Housing Program

23-12 Permitted Obstructions in Open Space

(a) Balconies, unenclosed, subject to the provisions of Section 23-13;

23-156 Maximum Floor Area and Lot Coverage

R6B Zoning District:
Maximum permitted Floor Area (FAR 2.00): 5,908.6 x 2.00 = 11,817.2 sf
Maximum permitted Lot Coverage: 100% within 100 feet of a corner, 60% interior
Lot Area in R6B ZD within 100 feet of a corner: 3,827.7 sf
Lot Area in R6B ZD beyond 100 feet of a corner: 2,080.9 sf
Maximum permitted Lot Coverage: (3,827.7 x 1.00) + (2,080.9 x 0.60) = 3,827.7 + 1,248.5 = 5,076.2 sf

R6A/C2-4 Zoning District:
Maximum permitted Floor Area (FAR 3.00): 7,688.4 x 3.00 = 23,065.2 sf
Maximum permitted Lot Coverage: 100% within 100 feet of a corner, 60% interior
Lot Area in R6A ZD within 100 feet of a corner: 5,584.9 sf
Lot Area in R6A ZD beyond 100 feet of a corner: 2,103.8 sf
Maximum permitted Lot Coverage: (5,584.9 x 1.00) + (2,103.8 x 0.60) = 5,584.9 + 1,262.3 = 6,847.2 sf

Proposed Floor Areas:

Proposed Floor Area in R6B ZD: 11,779.7 sf < 11,817.2 sf, therefore OK

Proposed Floor Area in R6A ZD: 22,874.4 sf < 23,065.2 sf, therefore OK

Proposed Lot Coverage in R6B ZD:

Within 100 feet of a corner: 3,387.1 sf, therefore OK

Proposed Lot Coverage in R6A ZD:

Within 100 feet of a corner: 5,274.7 sf, therefore OK

23-22 Maximum Number of Dwelling Units

Factor for determining number of D.U.: 680
Max. permitted number of D.U.: (11,817.2 + 23,065.2) / 680 = 51 D.U.
Proposed: 32 D.U., therefore OK

23-462 Side Yards

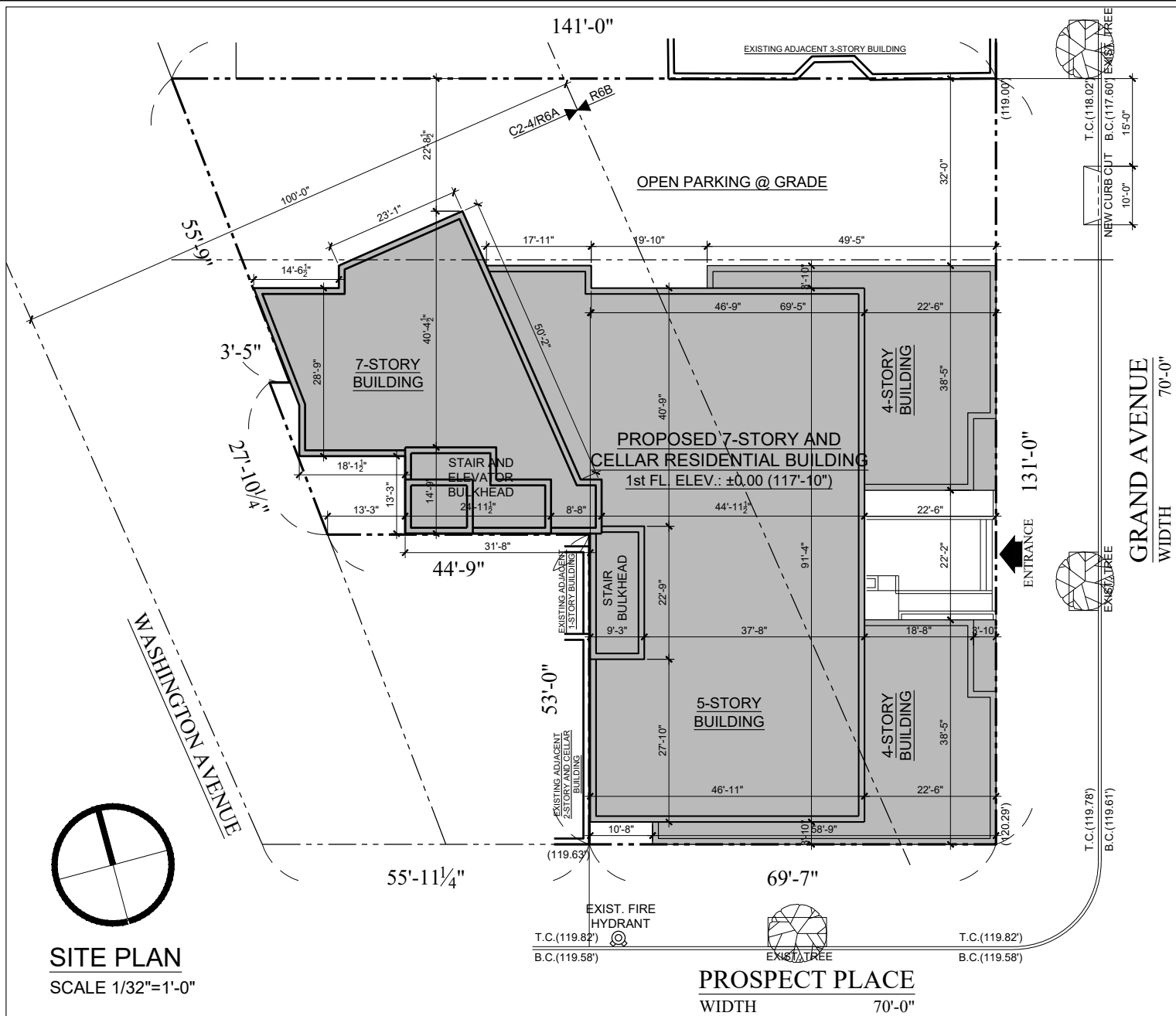
No side yards required, if provided: 8'-0" min.
22'-8" Side yard proposed.

23-471 Rear Yard

(c) In R6 through R10 Districts, no rear yard shall be required where such rear lot line coincides with a side lot line of an adjoining zoning lot.

23-541 Rear Yard

In the districts indicated, no rear yard shall be required within 100 feet of the point of intersection of two street lines intersecting at an angle of 135 degrees or less.
No Rear Yard required.



SITE PLAN

SCALE 1/32"=1'-0"

23-661 Street Wall Location

(a) (1) The street wall shall be located no closer to the street line than the closest street wall, or portion thereof, of an existing adjacent building on the same or an adjoining zoning lot located on the same street frontage, that is both within 10 feet of the street line and within 25 feet of such Quality Housing building.
Existing adjacent building facing Grand Avenue: at street line.
Existing adjacent building facing Prospect Place: at street line.
Proposed Street Walls: at Street Lines on both streets.

23-662 Height and Setback Regulations

Base Plane calculations
(((119.63' + 120.29') / 2 x 69.58') + ((120.29' + 119.00') / 2 x 131.00')) / (69.58' + 131.00') = (8,346.8 + 15,673.5) / 200.58 = 119.75'

R6B Zoning District:

Maximum Base Height: 40'-0" (159.75')
Maximum Building Height: 50'-0" (169.75')
Required Setback: 15'-0"
Proposed Base Height: 38'-8 1/2"
Proposed Building Height: 49'-4"
Proposed Setback: 22'-6"

R6A Zoning District:

Maximum Base Height: 60'-0" (179.75')
Maximum Building Height: 70'-0" (189.75')
Required Setback: 15'-0"
Proposed Base Height: 49'-4"
Proposed Building Height: 70'-0"
Proposed Setback: 31'-9"

25-22 Required Accessory Off-Street Parking

Required number of Parking Spaces: 50% of the number of Dwelling Units
Proposed number of Dwelling Units: 32
Required number of parking spaces : 32 x 0.50 = 16
Provided number of Parking Spaces: 16, therefore OK

25-811 Enclosed bicycle parking spaces

Required number of Bicycle Parking Spaces: 50% of the number of Dwelling Units
Proposed number of Dwelling Units: 32
Required number of parking spaces : 32 x 0.50 = 16
Provided number of Bicycle Parking Spaces: 35, therefore OK



ZD1 Zoning Diagram
Must be typewritten.

Orient and affix BIS job number label here

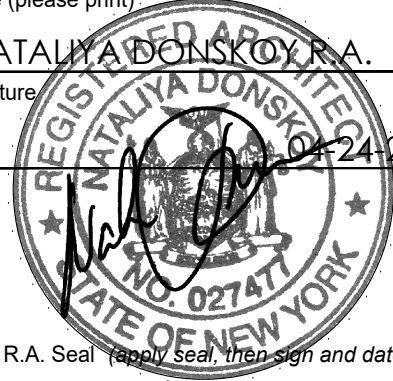
Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15. Yes No

Location Information

House No(s) 630-646
Street Name GRAND AVENUE
Borough BROOKLYN
Block 1154
Lot 24, 27, 29
BIN 3396281

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) NATALIYA DONSKOY, R.A.
Signature [Signature] Date 02-24-2023



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

Orient and affix BIS job number label here

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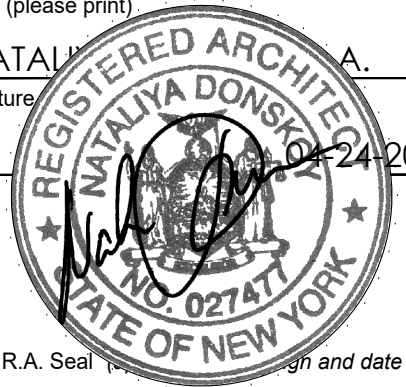
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Name (please print)

NATALIA DONSKOY A.
Signature _____ Date 02/24/2023

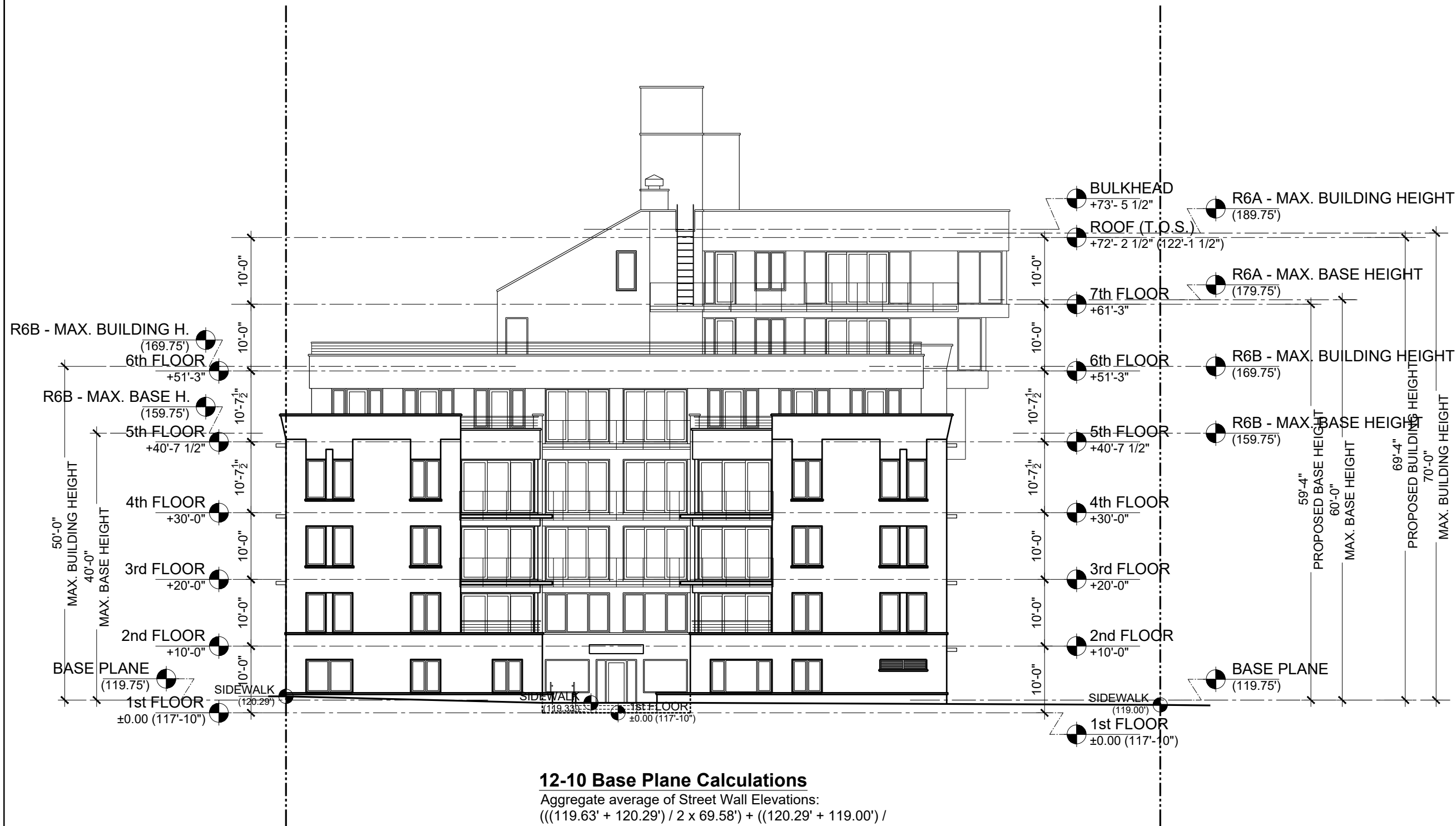


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12-10 Base Plane Calculations

Aggregate average of Street Wall Elevations:

$$\frac{(((119.63' + 120.29') / 2 \times 69.58') + ((120.29' + 119.00') / 2 \times 131.00'))}{(69.58' + 131.00')} = (8,346.8 + 15,673.5) / 200.58 = 119.75' \text{ (BASE PLANE)}$$

BUILDING HEIGHT DIAGRAM (GRAND AVE.)

SCALE 1/16"=1'-0"

ZD1 Zoning Diagram
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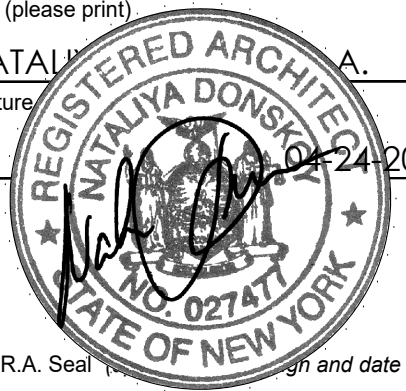
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Name (please print) NATALIA DONSKAYA
Signature [Signature] Date 09-24-2023

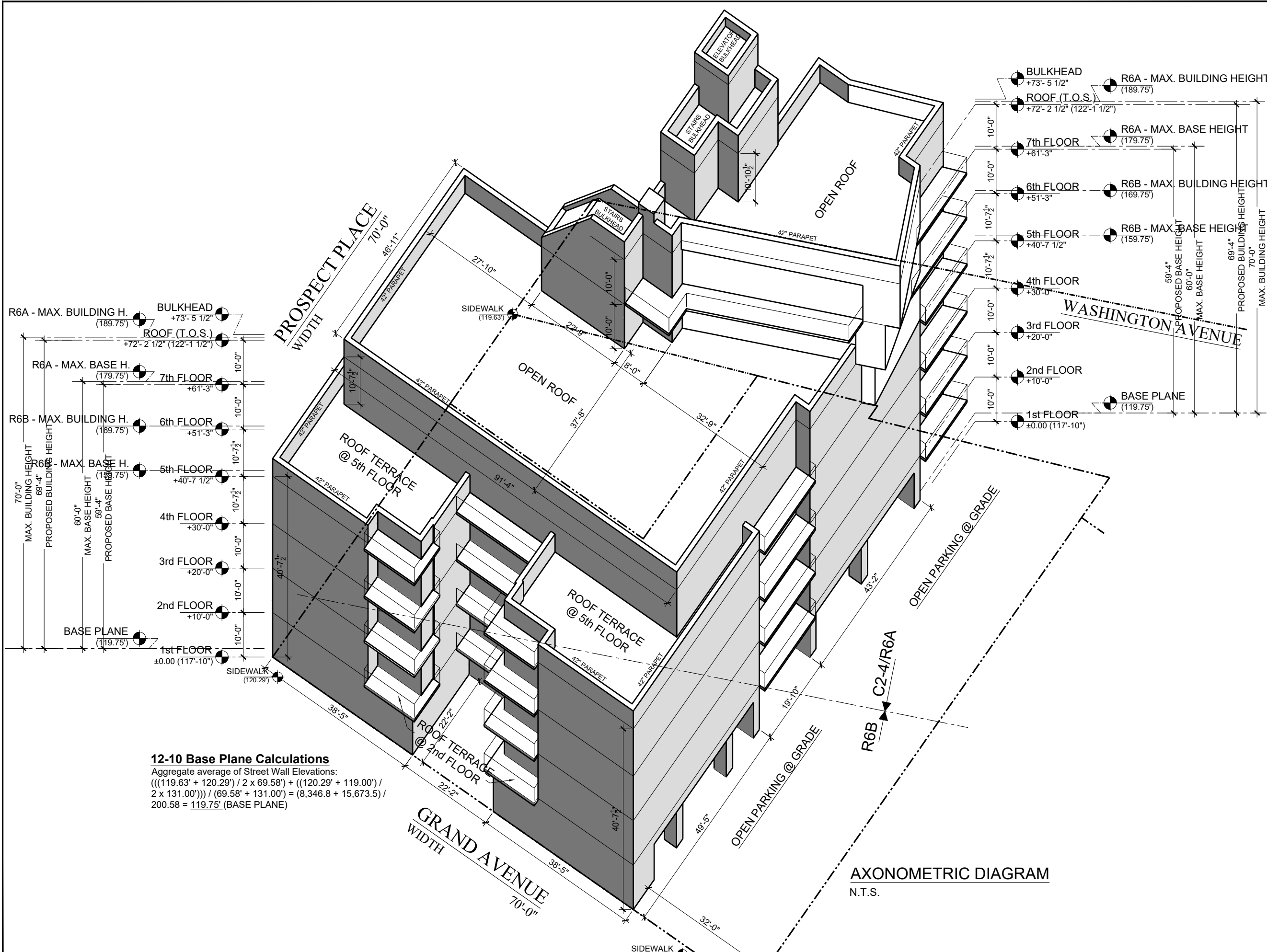


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AXONOMETRIC DIAGRAM
N.T.S.

