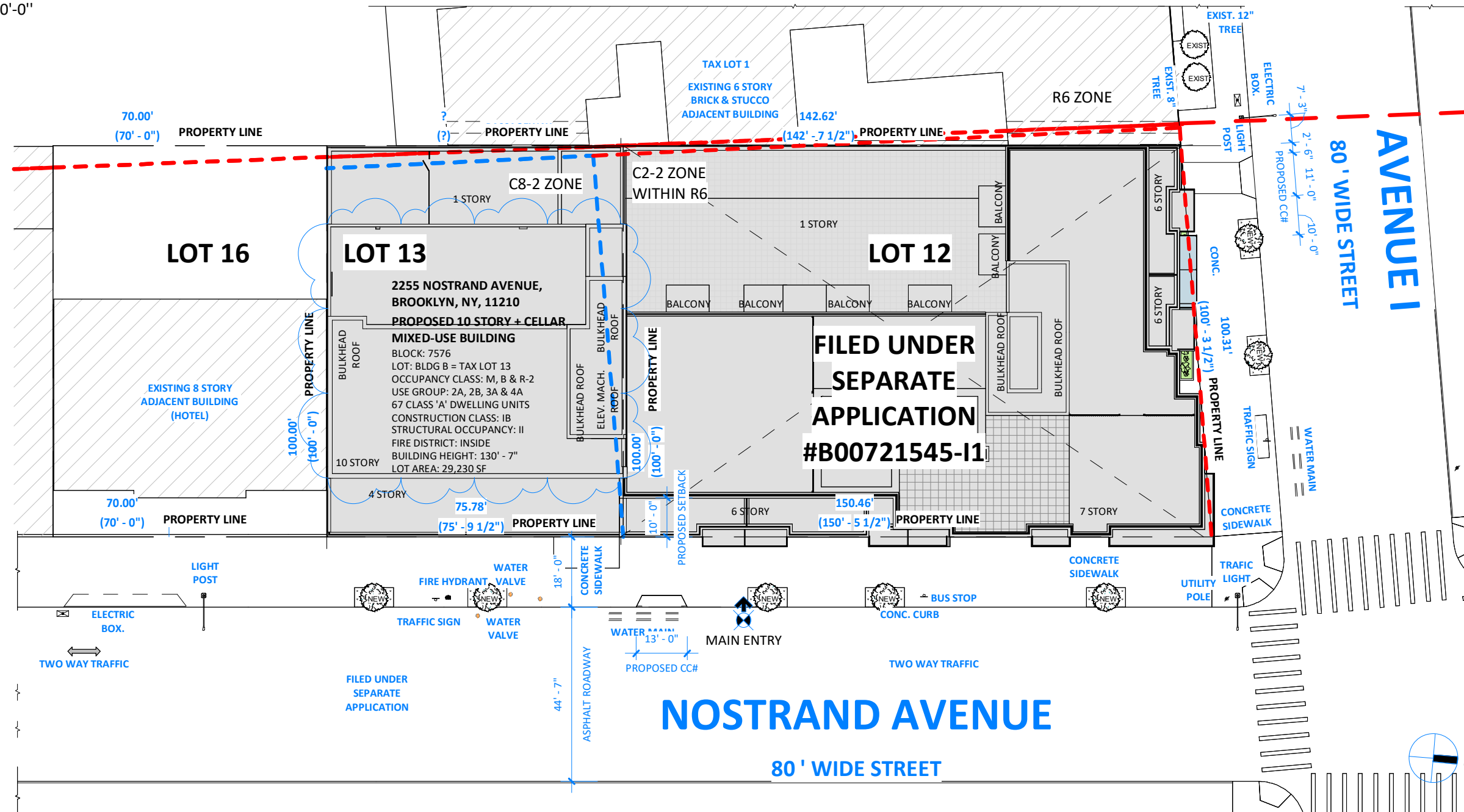


PLOT PLAN

SCALE: 1" = 30'-0"



LOT AREA: 29,230 SQ.FT.

ZR 23-153, 77-20 LOT COVERAGE

LOT COVERAGE ALLOWABLE:

R6: WITHIN 100' OF CORNER: 100% (10,031 SF X 1) = 10,031 SF

R6: BEYOND 100' OF CORNER: 65% (5,298 SF X .65) = 3,444 SF

LOT COVERAGE PROPOSED:

R6: WITHIN 100' OF CORNER: 75% (PROPOSED 7,481 SF / 10,031 SF)

R6: BEYOND 100' OF CORNER: 55% (2,748 SF / 3,429 SF)

ZR 23-47, 23-541; 33-26 REAR YARDS

REQUIRED:

WITHIN R6 ZONE: WITHOUT 100' OF CORNER: 30'-0" MINIMUM REAR YARD WITHIN 100' OF CORNER: NOT REQUIRED [ZR 33-226]

WITHIN C8-2 ZONE: A REAR YARD WITH A DEPTH OF NOT LESS THAN 20 FEET

PROPOSED:

WITHIN R6 ZONE: BUILDING A: 42'-6" PROPOSED REAR YARD

WITHIN C8-2 ZONE: BUILDING B: 20'-0" PROPOSED REAR YARD

ZR 23-662(C)(1); ZR 33-432 REQUIRED SETBACKS

REQUIRED:[ZR 23-662(C)(1)] : 10'-0" @ WIDE STREET

[ZR 33-432]: IN THE DISTRICTS C8-2, FOR BUILDINGS OTHER THAN QUALITY HOUSING BUILDINGS, THE REQUIRED FRONT SETBACK OF A BUILDING OR

OTHER STRUCTURE, SHALL BE: ON WIDE STREET:

15 FEET @ WIDE STREET

INITIAL SETBACK DISTANCE FOR WIDE STREET - 15'-0"

PROPOSED: LOT 12. BUILDING A:

15'-0" PROPOSED SETBACK @ NOSTRAND AVENUE

10'-0" PROPOSED SETBACK @ AVENUE I

LOT 13. BUILDING B:

15'-0" PROPOSED SETBACK @ NOSTRAND AVENUE

LEGEND

QUALITY HOUSING PROGRAM

PROPERTY LINE

DISTRICT BOUNDARY

PROPOSED BUILDING

EXISTING BUILDING

EXISTING TREE

PROPOSED TREE



ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

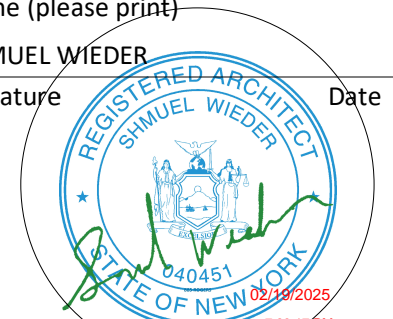
House No(s) 2251 NOSTRAND AVENUE
 Street Name
 Borough BROOKLYN
 Block 7576
 Lot (s) BLDG B
 BIN = TAX
 LOT 13

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications of documents with the Department.

Name (please print)

SHMUEL WIEDER

Signature Date



P.E. / R.A. Seal (apply seal, then sign and date over seal)

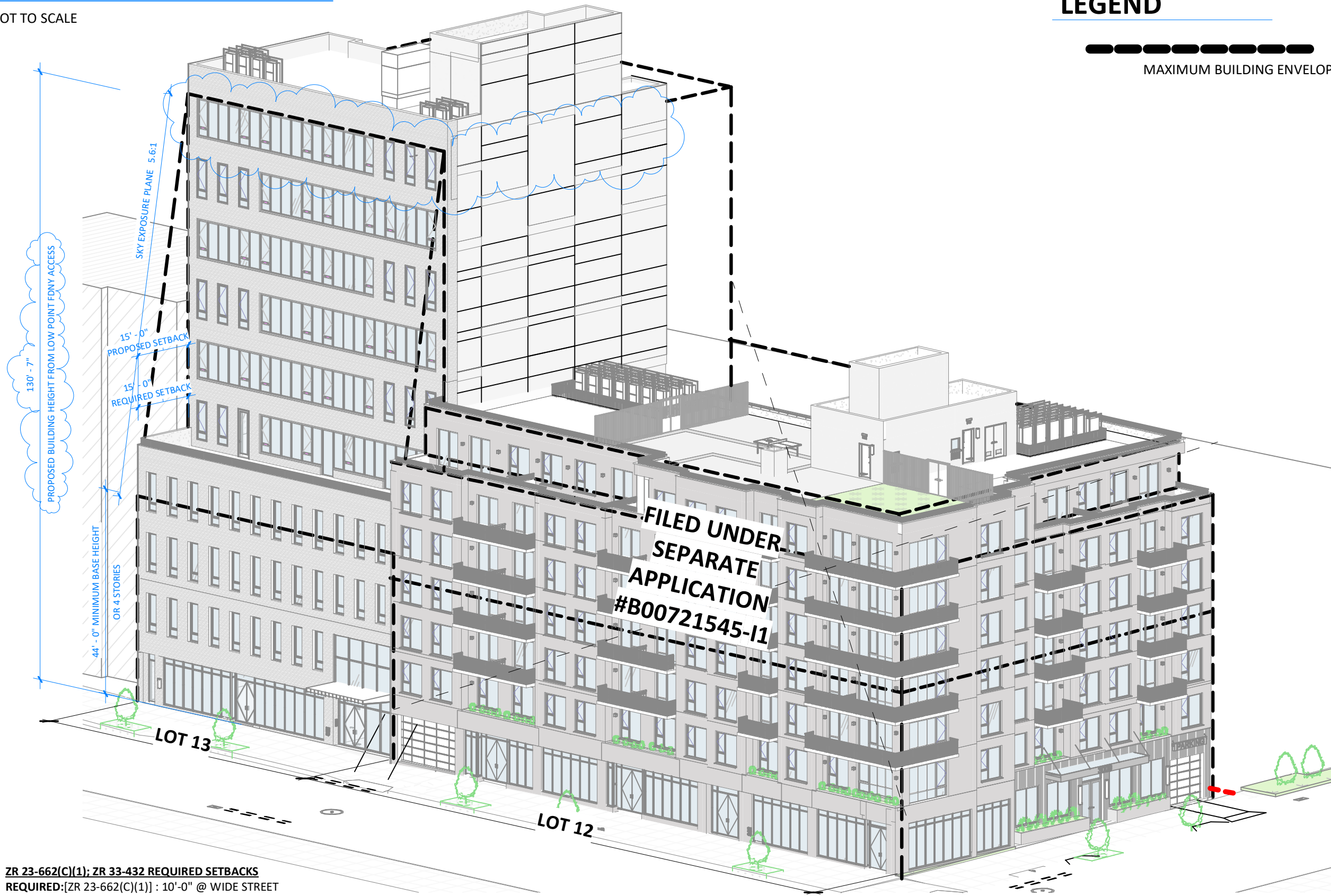
Internal Use Only

BIS Doc #

PLAN EXAMINER SIGN AND DATE

AXONOMETRIC DIAGRAM

NOT TO SCALE



LEGEND

MAXIMUM BUILDING ENVELOPE



ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

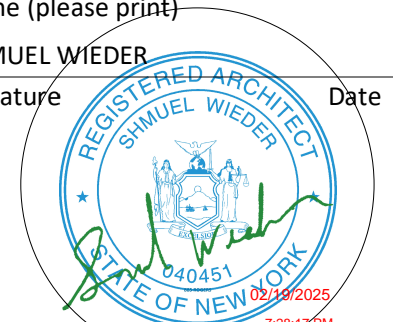
House No(s) 2251 NOSTRAND AVENUE
Street Name _____
Borough BROOKLYN
Block 7576
Lot (s) BLDG B
BIN = TAX
LOT 13

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Name (please print)

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Signature _____ Date _____



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Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

ZR 23-662(C)(1); ZR 33-432 REQUIRED SETBACKS

REQUIRED: [ZR 23-662(C)(1)] : 10'-0" @ WIDE STREET
[ZR 33-432]: IN THE DISTRICTS C8-2, FOR BUILDINGS OTHER THAN QUALITY HOUSING BUILDINGS, THE REQUIRED FRONT SETBACK OF A BUILDING OR OTHER STRUCTURE, SHALL BE: ON WIDE STREET: 15 FEET @ WIDE STREET
INITIAL SETBACK DISTANCE FOR WIDE STREET - 15'-0"
PROPOSED: LOT 12. BUILDING A:
15'-0" PROPOSED SETBACK @ NOSTRAND AVENUE
10'-0" PROPOSED SETBACK @ AVENUE I
LOT 13. BUILDING B:
15'-0" PROPOSED SETBACK @ NOSTRAND AVENUE

ZR 23-662 MIN BASE HEIGHT

REQUIRED: [ZR 23-662] RESIDENTIAL:
40'-0" MINIMUM BASE HEIGHT @ WIDE STREET
PROPOSED: LOT 12. RESIDENTIAL (BUILDING A):
63'-4" PROPOSED BASE HEIGHT

ZR 23-662; ZR 33-432 MAX BASE HEIGHT

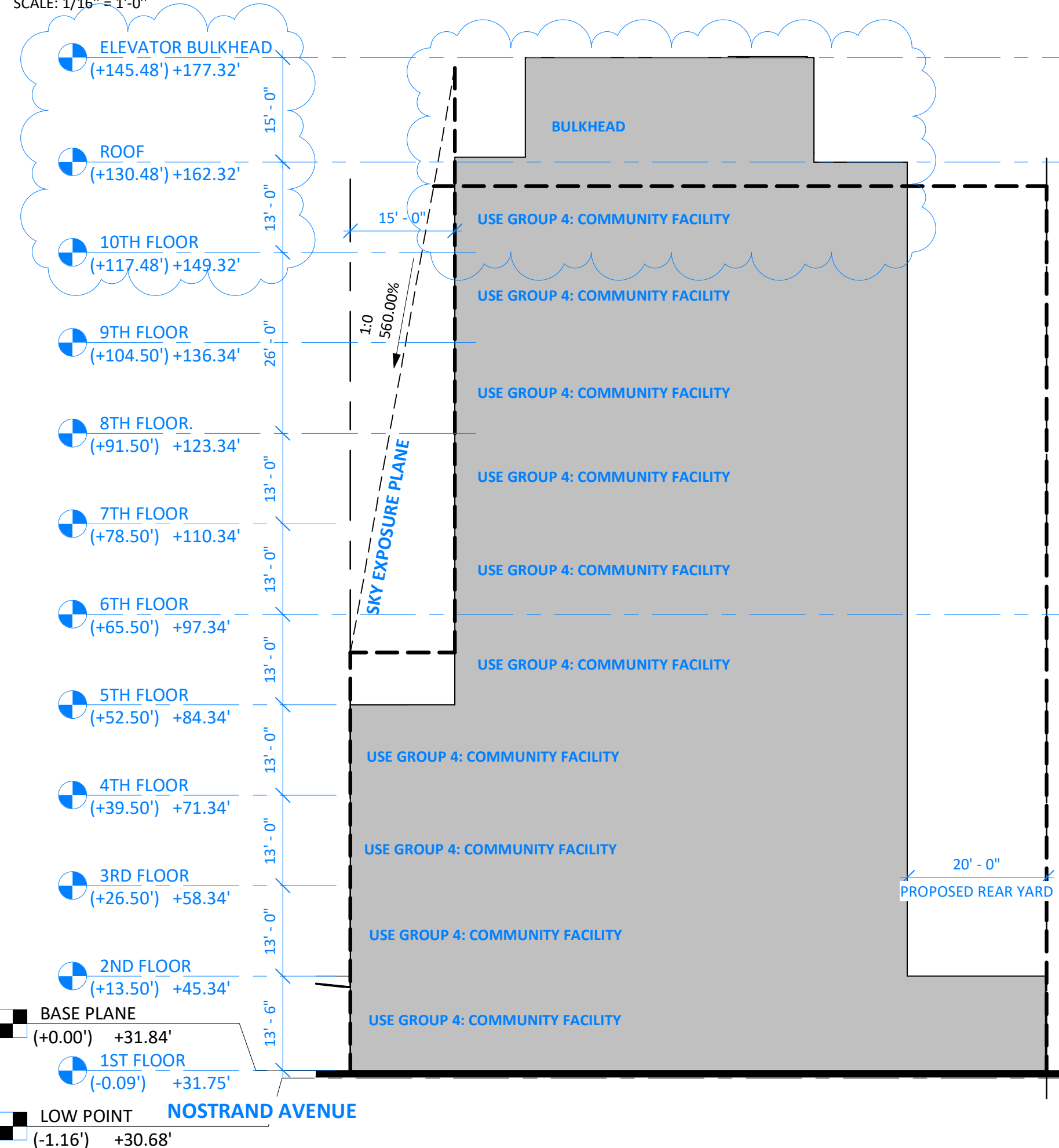
REQUIRED: [ZR 23-662] RESIDENTIAL:
65'-0" MAXIMUM BASE HEIGHT @ WIDE STREET
[ZR 33-432] COMMERCIAL & COMMUNITY FACILITY:
IN THE DISTRICTS C8-2, FOR BUILDINGS OTHER THAN QUALITY HOUSING BUILDINGS, THE MAXIMUM HEIGHT OF A FRONT WALL SHALL BE ON WIDE STREET: 60 FEET OR FOUR STORIES, WHICHEVER IS LESS
PROPOSED: LOT 12. RESIDENTIAL (BUILDING A): 63'-4" PROPOSED BASE HEIGHT
LOT 13. COMMERCIAL & COMMUNITY FACILITY (BUILDING B): 44'-0" PROPOSED BASE HEIGHT, EQUAL TO 4 STORIES

ZR 23-662; 77-28 MAX. BUILDING HEIGHT

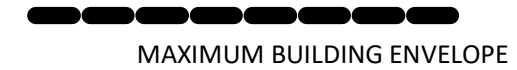
REQUIRED: LOT12. BUILDING A:
[ZR 23-662] RESIDENTIAL:
75'-0" MAXIMUM BUILDING HEIGHT
LOT 13. BUILDING B: SKY EXPOSURE PLANE: 5.6:1
PROPOSED: LOT 12. RESIDENTIAL (BUILDING A):
73'-4" PROPOSED BUILDING HEIGHT
LOT 13. BUILDING B: COMPLIES

AXONOMETRIC ZONING SECTION DIAGRAM

SCALE: 1/16" = 1'-0"



LEGEND



ZR 23-662(C)(1); ZR 33-432 REQUIRED SETBACKS

REQUIRED: [ZR 23-662(C)(1)] : 10'-0" @ WIDE STREET
[ZR 33-432]: IN THE DISTRICTS C8-2, FOR BUILDINGS OTHER THAN QUALITY HOUSING BUILDINGS, THE REQUIRED FRONT SETBACK OF A BUILDING OR OTHER STRUCTURE, SHALL BE: ON WIDE STREET:
15 FEET @ WIDE STREET
INITIAL SETBACK DISTANCE FOR WIDE STREET - 15'-0"
PROPOSED: LOT 12. BUILDING A:
15'-0" PROPOSED SETBACK @ NOSTRAND AVENUE
10'-0" PROPOSED SETBACK @ AVENUE I
LOT 13. BUILDING B:
15'-0" PROPOSED SETBACK @ NOSTRAND AVENUE

ZR 23-662 MIN BASE HEIGHT

REQUIRED: [ZR 23-662] RESIDENTIAL:
40'-0" MINIMUM BASE HEIGHT @ WIDE STREET
PROPOSED: LOT 12. RESIDENTIAL (BUILDING A):
63'-4" PROPOSED BASE HEIGHT

ZR 23-662; ZR 33-432 MAX BASE HEIGHT

REQUIRED: [ZR 23-662] RESIDENTIAL:
65'-0" MAXIMUM BASE HEIGHT @ WIDE STREET
[ZR 33-432] COMMERCIAL & COMMUNITY FACILITY:
IN THE DISTRICTS C8-2, FOR BUILDINGS OTHER THAN QUALITY HOUSING BUILDINGS, THE MAXIMUM HEIGHT OF A FRONT WALL SHALL BE ON WIDE STREET: 60 FEET OR FOUR STORIES, WHICHEVER IS LESS
PROPOSED: LOT 12. RESIDENTIAL (BUILDING A): 63'-4"
PROPOSED BASE HEIGHT LOT 13. COMMERCIAL & COMMUNITY FACILITY (BUILDING B): 44'-0" PROPOSED BASE HEIGHT, EQUAL TO 4 STORIES

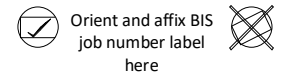
ZR 23-662; 77-28 MAX. BUILDING HEIGHT

REQUIRED: LOT 12. BUILDING A:
[ZR 23-662] RESIDENTIAL:
75'-0" MAXIMUM BUILDING HEIGHT
LOT 13. BUILDING B: SKY EXPOSURE PLANE: 5.6:1
PROPOSED: LOT 12. RESIDENTIAL (BUILDING A):
73'-4" PROPOSED BUILDING HEIGHT
LOT 13. BUILDING B: COMPLIES



ZD1 Zoning Diagram

Must be typewritten.



Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s) 2251 NOSTRAND AVENUE
Street Name _____
Borough BROOKLYN
Block 7576
Lot (s) BLDG B
BIN = TAX
LOT 13

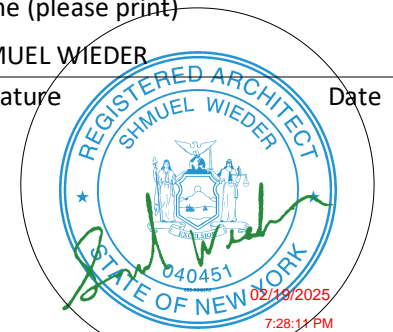
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Name (please print)

SHMUEL WIEDER

Signature

Date



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE



ZD1 Zoning Diagram

Must be typewritten.
Sheet 4 of 4

1 Applicant Information Required for all applications.

Last Name	WIEDER	First Name	SHMUEL	Middle Initial	
Business Name	S. WIEDER ARCHITECT PC		Business Telephone	718 484 3201	
Business Address	203 CLIFTON PLACE, SUITE #20		Business Fax		
City	BROOKLYN	State	NY	Zip	11216
E-Mail	SAM@SW-ARCHITECT.COM		Mobile Telephone		
		License Number	040451		

2 Additional Zoning Characteristics Required as applicable.

Dwelling Units	67	Parking area	18,560 sq. ft.	Parking Spaces: Total	108	Enclosed	0
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3 BSA and/or CPC Approval for Subject Application Required as applicable.

Board of Standards & Appeals (BSA)

<input type="checkbox"/> Variance	Cal. No. _____	Authorizing Zoning Section	72-21
<input type="checkbox"/> Special Permit	Cal. No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> General City Law Waiver	Cal. No. _____	General City Law Section	_____
<input type="checkbox"/> Other	Cal. No. _____		

City Planning Commission (CPC)

<input type="checkbox"/> Special Permit	ULURP No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> Authorization	App. No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> Certification	App. No. _____	Authorizing Zoning Section	_____
<input type="checkbox"/> Other	App. No. _____		

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
.LOT 16							
COMMERCIAL							
.CELLAR	4,581 SF	V			0 SF		0.00
1ST FLOOR	3,699 SF	V			3,298 SF		0.11
2ND FLOOR	3,622 SF	V			3,467 SF		0.12
3RD FLOOR	3,622 SF	V			3,467 SF		0.12
4TH FLOOR	3,622 SF	V			3,467 SF		0.12
5TH FLOOR	3,622 SF	V			3,467 SF		0.12
6TH FLOOR	3,622 SF	V			3,466 SF		0.12
7TH FLOOR	3,622 SF	V			3,466 SF		0.12
8TH FLOOR.	3,622 SF	V			3,466 SF		0.12
10TH FLOOR	500 SF	V			0 SF		0.00
10TH FLOOR	197 SF	V			0 SF		0.00

BUILDING C (EXISTING) 34,331 SF
34,331 SF

27,562 SF
27,562 SF

0.94
0.94

ZD1

4 Proposed Floor Area Required for all applications. One Use Group per line.

Floor Number	Building Code Gross Floor Area (sq. ft.)	Use Group	Zoning Floor Area (sq. ft.)				FAR
			Residential	Community Facility	Commercial	Manufacturing	
LOT 12 & 13							
.CELLAR FLOOR	14,558 SF	II	0 SF				0.00
1ST FLOOR	14,370 SF	II, & VI	878 SF	9,346 SF	9,302 SF		0.35
2ND FLOOR	10,069 SF	III(A)	9,346 SF				0.32
3RD FLOOR	10,069 SF	II	8,920 SF				0.31
4TH FLOOR	10,069 SF	II	8,920 SF				0.31
5TH FLOOR	10,069 SF	II	8,897 SF				0.30
6TH FLOOR	10,069 SF	II	8,897 SF				0.30
7TH FLOOR	8,984 SF	II	7,461 SF				0.26
ROOF	776 SF	II	266 SF				0.01
BUILDING A	89,031 SF		44,237 SF	9,346 SF	9,302 SF		2.15
.CELLAR	7,546 SF	III(B)		0 SF	0 SF		0.00
1ST FLOOR	6,000 SF	III(B)		5,820 SF			0.20
2ND FLOOR	6,055 SF	III(B)		5,446 SF			0.19
3RD FLOOR	6,055 SF	III(B)		5,849 SF			0.20
4TH FLOOR	6,055 SF	III(B)		5,849 SF			0.20
5TH FLOOR	4,921 SF	III(B)		4,718 SF			0.16
6TH FLOOR	4,921 SF	III(B)		4,718 SF			0.16
7TH FLOOR	4,921 SF	III(B)		4,718 SF			0.16
8TH FLOOR.	4,913 SF	III(B)		4,710 SF			0.16
9TH FLOOR	4,913 SF	III(B)		4,710 SF			0.16
10TH FLOOR	3,236 SF	III(B)		2,967 SF			0.10
ROOF	550 SF	III(B)		343 SF			0.01
BUILDING B	60,084 SF		44,237 SF	49,847 SF	9,302 SF		1.71
TOTALS	149,115 SF			59,192 SF			3.86
Totals	183,446 SF		44,237 SF	59,192 SF	36,864 SF		4.80

Total Zoning Floor Area 140,294 SF