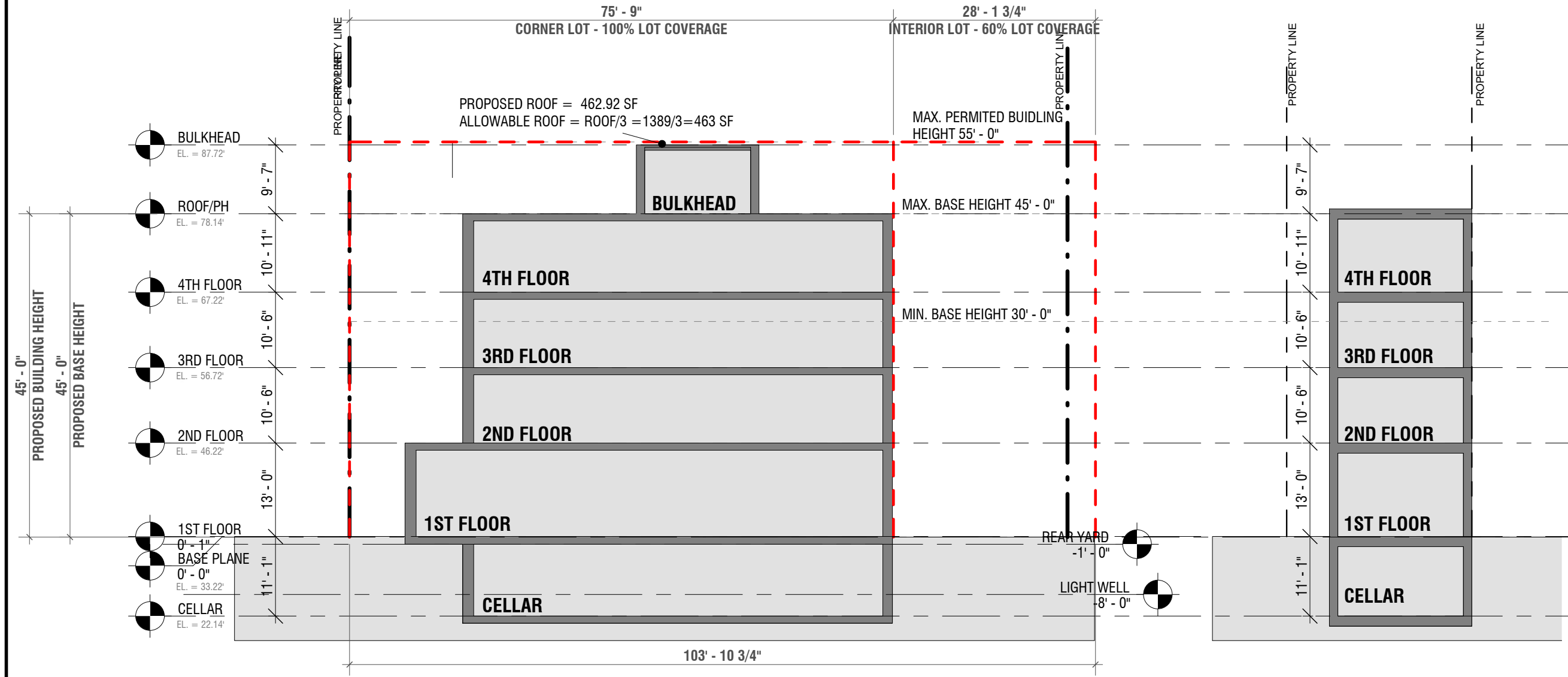


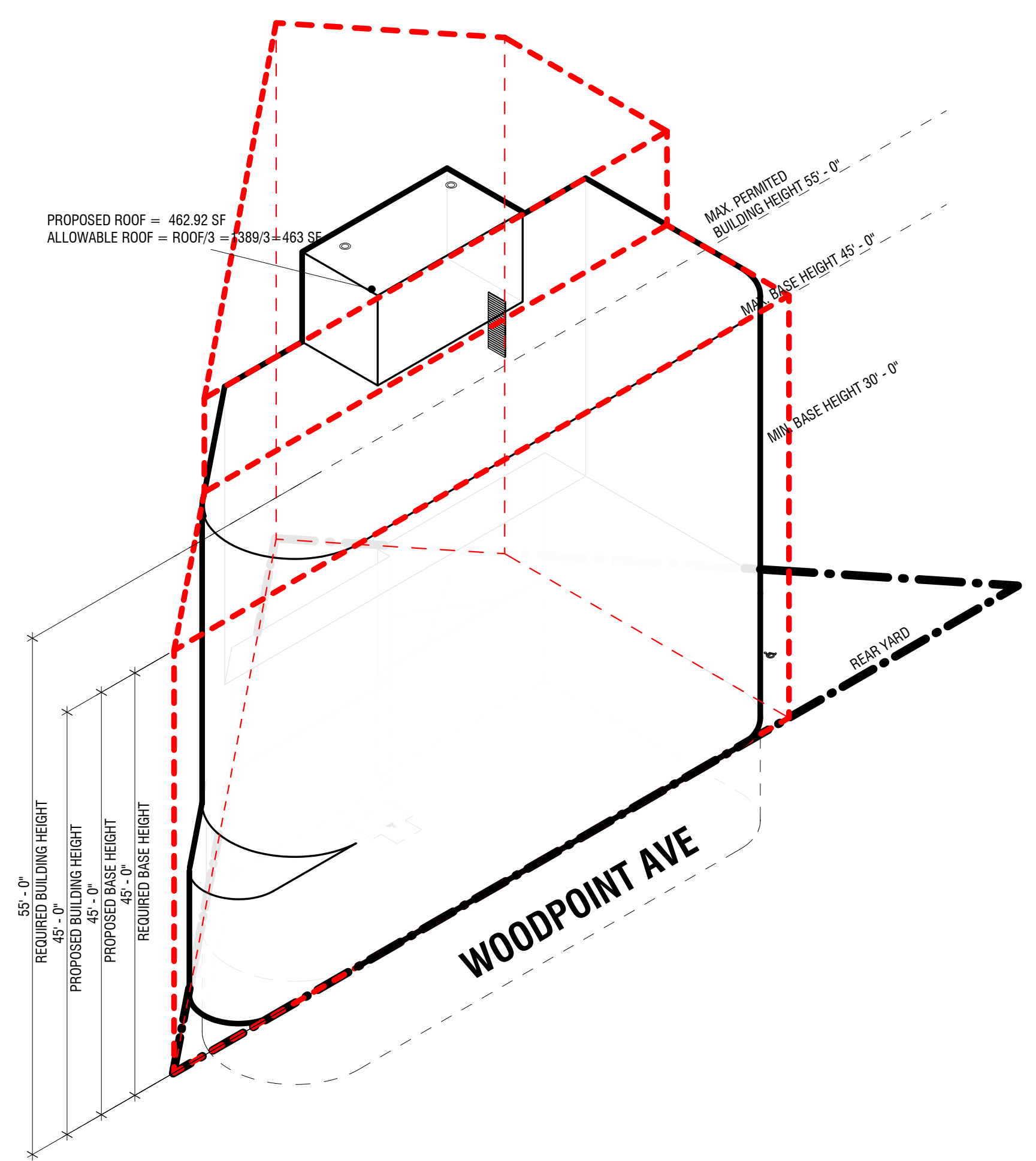
BUILDING INFORMATION		HEIGHT/ SETBACK	PERMITTED / REQUIRED	PROPOSED
LOCATION:	128 WOODPOINT ROAD BROOKLYN, NY 11211	ZR23-661(b)	STREET WALL LOCATION < 50 FT OF FRONTAGE	NO CLOSER TO ST. LINE THAN CLOSEST ST. WALL OF EXIST. ADJACENT BUILDINGS
2866		ZR23-662 (a)	MIN. BASE HEIGHT	30'-0"
LOT:	50	ZR23-662 (a)	MAX. BASE HEIGHT	45'-0" W/ QUALIFYING GROUND FLOOR
3325318		ZR23-662 (a)	MAX. BUILDING HEIGHT	55'-0" W/ QUALIFYING GROUND FLOOR
BIN:	R6B	ZR23-662 (c)	MIN. SETBACK BEYOND BASE (NARROW STREET)	15'-0"
ZONING DISTRICT	13a	DENSITY REGULATIONS	PERMITTED / REQUIRED	PROPOSED
MAP #:	TRANSIT ZONE, FRESH ZONE	ZR23-22	DENSITY FACTOR	680
SPECIAL DISTRICT	BROOKLYN, 1	ZR 25-241	RESIDENTIAL PARKING REQUIREMENT: REDUCED REQ.	50%
COMMUNITY DISTRICT	NOT IN A FLOOD ZONE	ZR 25-261	MAX. NUMBER OF SPACED WAIVED R6 = 5	3 REQUIRED
SPECIAL FLOOD HAZARD DISTRICT	N/A	ZR 25-811	RESIDENTIAL	1 PER 2 DWELLING UNITS
LANDMARK STATUS	N/A	ZR 28-12	REFUSE STORAGE	NOT REQUIRED FOR LESS THAN 9 UNITS
EXISTING CONSTRUCTION CLASS	N/A	ZR 28-13	LAUNDRY FACILITIES	NOT REQUIRED
PROPOSED CONSTRUCTION CLASS	I-B (2014 CODE)	ZR 28-14	DAYLIGHT IN CORRIDORS	50% DEDUCTED IF NATURAL LIGHT IS PROVIDED
SCOPE OF WORK		ZR 28-21	REQUIRED RECREATION SPACE	NOT REQUIRED FOR LESS THAN 9 UNITS
PROPOSED NEW RESIDENTIAL BUILDING COMPRISING OF FIVE (5) DWELLING UNITS. FOUR STORIES AND A CELLAR. QUALITY HOUSING ZONING TO BE UTILIZED.		ZR 28-23	PLANTING AREA WITHIN PROPERTY LINE	AREA BETWEEN LOT LINE AND BUILDING FACE SHALL BE PLANTED
FILED UNDER SEPARATE APPLICATION		ZR 28-31	DENSITY OF CORRIDOR	50% DEDUCTED IF LESS THAN 11 UNITS SERVED
SPRINKLER SYSTEM FILED UNDER SEPARATE APPLICATION: # B00748466-S6		ZR 28-40	PARKING FOR QUALITY HOUSING	NOT REQUIRED: WAIVED UNDER 5 SPACES REQUIRED
FIRE ALARM SYSTEM FILED UNDER SEPARATE APPLICATION: #		ZR 29-153	MAX. PERMITTED FAR	2.0
BPP FILED UNDER SEPARATE APPLICATION: #340859146				
STRUCTURAL SET FILLED SEPARATE APPLICATION: # B00748466-S4				
PLUMBING SET FILLED SEPARATE APPLICATION: # B00748466-S5				
MECHANICAL SET FILLED SEPARATE APPLICATION: # B00748466-S1				
SOE FILED UNDER SEPARATE APPLICATION: # B00748466-S2				
FOUNDATION FILED UNDER SEPARATE APPLICATION: # B00748466-S3				
SIDEWALK SHED, DEMOLITION, ELEVATOR APPLICATION, AND FENCE TO BE FILLED BY G.C AFTER APPROVAL				
TOTAL LOT AREA				
LOT SIZE	81'-1" x 103' 10 3/4" x 64' 3 3/4" (IRREGULAR SIZED LOT)	LOT AREA:	2,633 SQ. FT.	
MAXIMUM LOT COVERAGE		PERMITTED/ REQUIRED	PROPOSED	
ZR23-153	MAX. LOT COVERAGE CORNER LOT (WITHIN 100' FROM CORNER)	100%	77.0%	
	MAX. LOT COVERAGE INTERIOR LOT (EXCEEDING 100' FROM CORNER)	60%	0%	
	MAX. LOT COVERAGE	2,633 SQ. FT.	1644.49 SQ. FT. PROPOSED < 2,633 SQ. FT. (63.45%)	
USES		PERMITTED/ REQUIRED	PROPOSED	
ZR22-00	USE GROUPS 1-4	USE GROUP 2		
FLOOR AREA (QUALITY HOUSING PROGRAM)		PERMITTED/ REQUIRED	PROPOSED	
ZR23-153	MAX. PERMITTED FAR	2.0	1.94	
2,633 SQ. FT. x 2.0 = 5,266 SQ. FT. PERMITTED				
5120.42 SQ. FT. PROPOSED < 5,266 SQ. FT. PERMITTED				
FLOOR AREA CALCULATIONS				
FLOOR	PROPOSED	DEDUCTIONS	TOTAL	
CELLAR	1569.08 SF	1569.08 SF	0.00 SF	
LEVEL 1	1644.68 SF	375.33 SF	1269.35 SF	
LEVEL 2	1403.86 SF	115.78 SF	1288.08 SF	
LEVEL 3	1403.86 SF	117.44 SF	1286.42 SF	
LEVEL 4	1403.59 SF	127.03 SF	1276.56 SF	
ROOF / BULKHEAD	171.64 SF	171.64 SF	0.00 SF	
TOTAL	7596.72 SF	2476.30 SF	5120.42 SF	

CRFN No. Exhibit I and III - 2022000323735, 2022000323736.



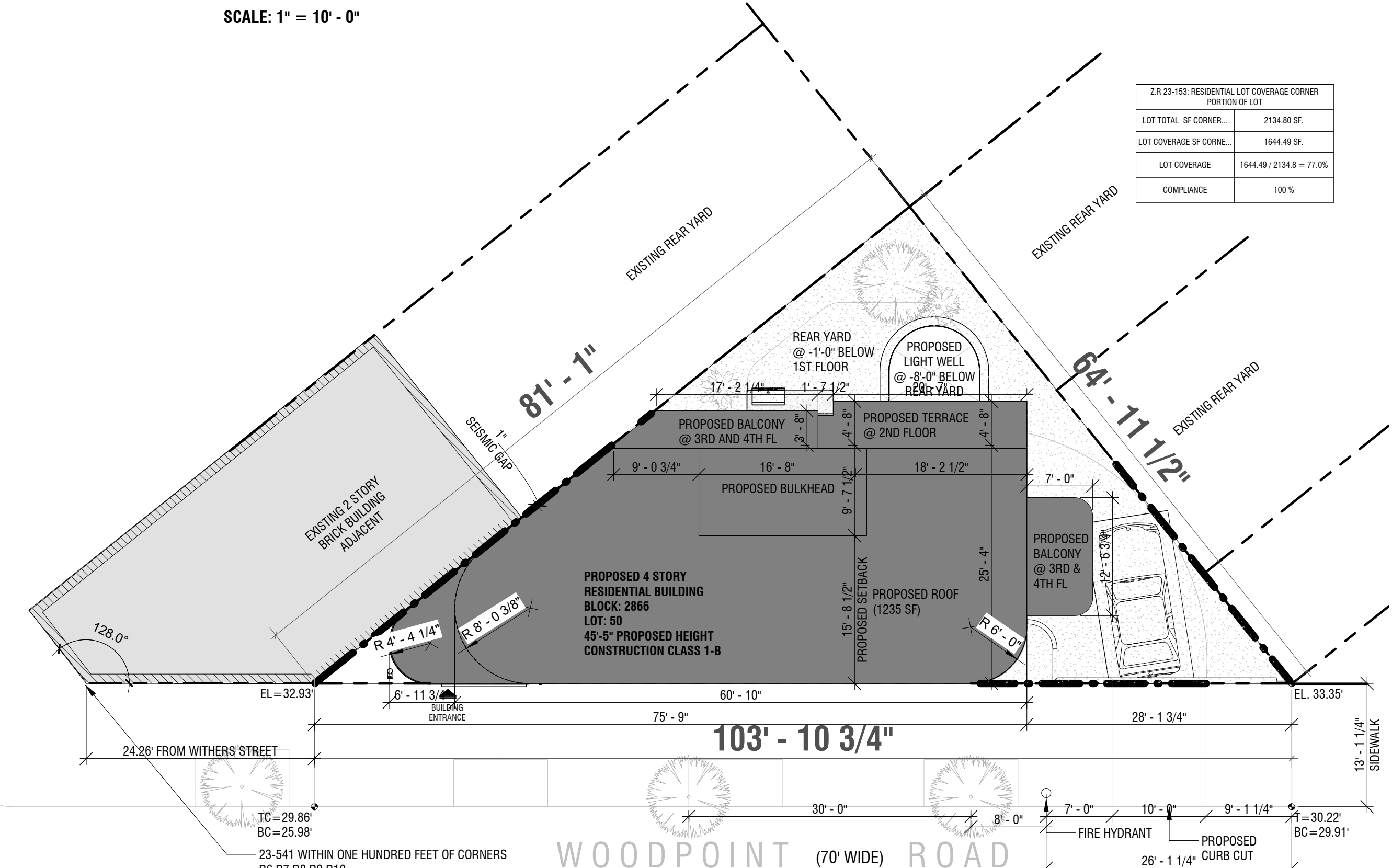
SECTION DIAGRAM

SCALE: 1/16" = 1' - 0"



BUILDING AXONOMETRIC

SCALE: 1" = 10' - 0"



SITE DIAGRAM PLAN

SCALE: 3/32" = 1' - 0"



ZD1 Zoning Diagram
Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15. Yes No

Location Information

House No(s)	128
Street Name	WOODPOINT AVE
Borough	BROOKLYN
Block	2866
Lot	50
BIN	3325318

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) _____ Date 10/05/22



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

