

DORMERS							
DORMER	STREET NAME	STREET TYPE	STREET WALL LENGTH	DORMER HEIGHT ABOVE MAX BASE...	PERCENTAGE ALLOWANCE	MAX. WIDTH	PROPOSED DORMER...
A	BEDFORD AVE	NARROW	23'-8"	10'-0"	60% - 10' = 50%	11'-10"	10'-6"

1 PLOT PLAN  
1/32" = 1'-0"

3 HEIGHT & SETBACK DIAGRAM B-B  
3/64" = 1'-0"

2 3D DIAGRAM

4 HEIGHT & SETBACK DIAGRAM A-A  
3/64" = 1'-0"



ZD1 Zoning Diagram  
Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.  
 Yes  No

Location Information

House No(s) 334  
Street Name BEDFORD AVENUE  
Borough BROOKLYN  
Block 2417  
Lot 25  
BIN 3063099

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Name (please print) KAO-HWA LEE  
Signature Date 7.23



P.E. / R.A. Seal and date over seal)

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PLAN EXAMINER SIGN AND DATE

ZONING ANALYSIS			
ADDRESS:	334 BEDFORD AVENUE, BROOKLYN, NY 11211		
BLOCK:	2417		
LOT:	25		
ZONING DISTRICT:	R6, C2-3		
ZONING MAP:	2b		
COMMUNITY BOARD:	301		
LOT AREA:	2484 SF		
APPLICABLE ZR SECTION	ITEM	PERMITTED/REQUIRED	PROPOSED
ZR 22-10	USES PERMITTED AS OF RIGHT		
ZR 22-12	PERMITTED USES	USE GROUP 1, 2, 3, 4, CONSISTS OF ALL OTHER TYPES OF RESIDENCES	PROPOSED USE GROUP 2
ZR 23-00	RESIDENTIAL BULK REGULATIONS IN RESIDENCE DISTRICTS		
ZR 33-121	IN DISTRICTS WITH BULK GOVERNED BY RESIDENCE DISTRICT BULK REGULATIONS	IN THE C 2-3 DISTRICT, FOR A ZONING LOT CONTAINING A COMMERCIAL OR COMMUNITY FACILITY USE, THE MAXIMUM FLOOR AREA RATIO IS DETERMINED BY THE RESIDENCE DISTRICT WITHIN WHICH SUCH COMMERCIAL DISTRICT IS MAPPED AND SHALL NOT EXCEED THE MAXIMUM FLOOR AREA RATIO SET FORTH IN THE FOLLOWING TABLE: FOR ZONING LOTS CONTAINING BOTH COMMERCIAL AND COMMUNITY FACILITY USES IN R6; MAX FAR IS 4.8	PROPOSED RESIDENTIAL FAR: 2.20 PROPOSED COMMUNITY FACILITY FAR: .23 PROPOSED COMMERCIAL FAR: 0.50  TOTAL PROPOSED FAR IS: 2.93
ZR 35-01	APPLICABILITY OF THIS CHAPTER	THE BULK REGULATIONS OF THIS CHAPTER APPLY TO ANY MIXED BUILDING LOCATED ON ANY ZONING LOT OR PORTION OF A ZONING LOT IN ANY COMMERCIAL DISTRICT IN WHICH SUCH BUILDING IS PERMITTED. THE BULK REGULATIONS OF THIS CHAPTER SHALL ALSO APPLY IN ANY COMMERCIAL DISTRICT WHERE THERE ARE MULTIPLE BUILDINGS ON A SINGLE ZONING LOT AND SUCH ZONING LOT CONTAINS A RESIDENTIAL USE AND EITHER A COMMERCIAL USE OR A COMMUNITY FACILITY USE. IN ADDITION, THE BULK REGULATIONS OF THIS CHAPTER, OR OF SPECIFIED SECTIONS THEREOF, ALSO APPLY IN OTHER PROVISIONS OF THIS RESOLUTION WHERE THEY ARE INCORPORATED BY CROSS-REFERENCE.	
ZR 35-22(C)	RESIDENTIAL BULK REGULATIONS IN C1 OR C2 DISTRICTS WHOSE BULK IS GOVERNED BY SURROUNDING RESIDENCE DISTRICT	WHEN SUCH DISTRICTS ARE MAPPED WITHIN R6, R7, R8, R9 OR R10 DISTRICTS, THE HEIGHT AND SETBACK REGULATIONS OF SECTION 23-66 (HEIGHT AND SETBACK REQUIREMENTS FOR QUALITY HOUSING BUILDINGS), SHALL BE MODIFIED BY THE PROVISIONS OF SECTION 35-65 (HEIGHT AND SETBACK REQUIREMENTS FOR QUALITY HOUSING BUILDINGS) FOR QUALITY HOUSING BUILDINGS.	MODIFIED BY 35-65
ZR 35-31	MAXIMUM FLOOR AREA RATIO	THE MAXIMUM FLOOR AREA RATIO PERMITTED FOR A COMMERCIAL OR COMMUNITY FACILITY USE SHALL BE AS SET FORTH IN ARTICLE III, CHAPTER 3, AND THE MAXIMUM FLOOR AREA RATIO PERMITTED FOR A RESIDENTIAL USE SHALL BE AS SET FORTH IN ARTICLE II, CHAPTER 3, PROVIDED THE TOTAL OF ALL SUCH FLOOR AREA RATIOS DOES NOT EXCEED THE GREATEST FLOOR AREA RATIO PERMITTED FOR ANY SUCH USE ON THE ZONING LOT	
ZR 23-03 ZR 26-41	STREET TREE PLANTING IN RESIDENCE DISTRICTS	IN ACCORDANCE WITH APPLICABILITY REQUIREMENTS OF UNDERLYING DISTRICT REGULATIONS, ONE STREET TREE, PRE-EXISTING OR NEWLY PLANTED, SHALL BE PROVIDED FOR EVERY 25 FEET OF STREET FRONTAGE OF THE ZONING LOT, FRACTIONS EQUAL TO OR GREATER THAN ONE-HALF RESULTING FROM THIS CALCULATION SHALL BE CONSIDERED TO BE ONE TREE. SUCH TREES SHALL BE PLANTED AT APPROXIMATELY EQUAL INTERVALS ALONG THE ENTIRE LENGTH OF THE CURB OF THE STREET ADJACENT TO THE ZONING LOT.	PROPOSED LOT FRONTAGE 24'-0", 1 TREE REQUIRED  1 TREE TO BE PAID INTO FUND
ZR 23-10	OPEN SPACE AND FLOOR AREA REGULATIONS		
ZR-23-153	LOT COVERAGE	MAX LOT COVERAGE IN R6 DISTRICTS IS: 60%	PROPOSED LOT COVERAGE: 59.23%
ZR 23-153	FLOOR AREA RATIO	IN R6 NARROW STREET THE RESIDENTIAL FLOOR AREA SHOULD BE: 2.2 PROPOSED LOT AREA: 2484 SF 2.2 X 2484 = 5464.8 SF	PROPOSED RESIDENTIAL ZFA: 5462.25 SF OK
ZR 23-20	DENSITY REGULATIONS		
ZR 23-22	MAXIMUM NUMBER OF DWELLING UNITS	IN DISTRICT R6 FACTOR FOR DWELLING UNITS IS 680 5464.8 / 680 = 8. DWELLING UNITS	PROPOSED DWELLING UNITS : 8
ZR 23-30	LOT AREA AND LOT WIDTH REGULATIONS		
ZR 23-32	MINIMUM LOT AREA	R6 MIN. LOT AREA: 1700 SF	PROPOSED LOT AREA: 2484 SF
ZR 23-32	MINIMUM LOT WIDTH	R6 MIN. LOT WIDTH: 18'-0"	PROPOSED LOT WIDTH: 25'-0"
ZR 23-40	YARD REGULATIONS		
ZR 35-51	FRONT YARD	C1 C2 C3 C4 C5 C6, IN THE DISTRICTS INDICATED, NO FRONT YARD SHALL BE REQUIRED	PROPOSED FRONT YARD: 0'-0" OK
ZR 35-52	SIDE YARD	MIN. REQUIRED SIDE YARD IS: 0'-0" OR 8'-0"	PROPOSED SIDE YARD: 0'-0" OK
ZR 35-53	REAR YARD FOR RESIDENTIAL PORTION	IN THE DISTRICTS INDICATED, FOR A RESIDENTIAL PORTION OF A MIXED BUILDING, THE REQUIRED RESIDENTIAL REAR YARD SHALL BE PROVIDED AT THE FLOOR LEVEL OF THE LOWEST STORY USED FOR DWELLING UNITS OR ROOMING UNITS, WHERE ANY WINDOW OF SUCH DWELLING UNITS OR ROOMING UNITS FACES ONTO SUCH REAR YARD.	PROPOSED REAR YARD: 44'-5" OK
ZR 33-26	REAR YARD FOR COMMERCIAL PORTION	C1 C2 C3 C4 C5 C6 C7 C8, IN ALL DISTRICTS, AS INDICATED, A REAR YARD WITH A DEPTH OF NOT LESS THAN 20 FEET SHALL BE PROVIDED AT EVERY REAR LOT LINE ON ANY ZONING LOT	PROPOSED REAR YARD: 44'-5" OK
ZR 33-23 (b)	PERMITTED OBSTRUCTIONS IN REQUIRED YARDS OR REAR YARD EQUIVALENTS	ANY BUILDING OR PORTION OF A BUILDING USED FOR ANY PERMITTED USE OTHER THAN RESIDENCES, AND PROVIDED THAT THE HEIGHT OF SUCH BUILDING SHALL NOT EXCEED ONE STORY, EXCLUDING BASEMENT, NOR IN ANY EVENT 23 FEET ABOVE CURB LEVEL	PROPOSED COMMERCIAL SPACE IS 1 STORY AND 15' IN HEIGHT THEREFORE PERMITTED OBSTRUCTION IN REAR YARD



ZD1 Zoning Diagram  
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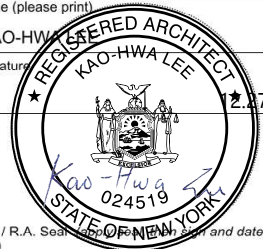
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Name (please print)

KAO-HWA  
Signature \_\_\_\_\_ Date \_\_\_\_\_



P.E. / R.A. Seal (to be signed and dated over seal)

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ZR 23-60	HEIGHT & SETBACK REGULATIONS	
35-651 (A) (1)	STREET WALL LOCATION	IN C1 OR C2 DISTRICTS WHEN MAPPED WITHIN R6A, R6B, R7A, R7B OR R7X DISTRICTS, AND FOR QUALITY HOUSING BUILDINGS IN OTHER COMMERCIAL DISTRICTS WITH A RESIDENTIAL EQUIVALENT OF AN R6 OR R7 DISTRICT, THE FOLLOWING SHALL APPLY: AT LEAST 70 PERCENT OF THE AGGREGATE WIDTH OF STREET WALLS SHALL BE LOCATED WITHIN EIGHT FEET OF THE STREET LINE AND SHALL EXTEND TO AT LEAST THE MINIMUM BASE HEIGHT
ZR 23-662 (a)	MIN. / MAX. BASE HEIGHT, & BUILDING HEIGHT	IN R6 DISTRICT MIN. BASE HEIGHT: 30' MAX. BASE HEIGHT: 45' MAX. BUILDING HEIGHT: 55'
ZR 23-662 (c)	MIN. REQUIRED SET BACK	MIN. REQUIRED SETBACK ON NARROW ST: 15'-0"
ZR 25-20	REQUIRED ACCESSORY OFF-STREET PARKING SPACES FOR RESIDENCES	
ZR 25-241	REQUIREMENTS WHERE GROUP PARKING FACILITIES ARE PROVIDED	IN R6, THE NUMBER OF REQUIRED ACCESSORY OFF-STREET PARKING SPACES IS 50% OF THE AMOUNT OF PROPOSED UNITS
ZR 25-261	WAIVER OF REQUIREMENTS FOR SMALL NUMBER OF SPACES	IN R6 UP TO 5 SPACES CAN BE WAIVED
ZR 25-20	REQUIRED ACCESSORY OFF-STREET PARKING SPACES FOR RESIDENCES	
ZR 25-811 (a)	ENCLOSED BICYCLE PARKING SPACES	FOR USE GROUP 2, 1 PARKING SPACE PER 2 NEW DWELLING UNITS REQUIRED 8 / 2 = 4 = 4 BICYCLE PARKING SPACES REQUIRED
ZR 28-00	THE QUALITY HOUSING PROGRAM	
ZR 28-12	REFUSE DISPOSAL	IN BUILDINGS WITH 9 OR MORE DWELLING UNITS, A REFUSE DISPOSAL ROOM OF NOT LESS THAN 12 SQUARE FEET WITH NO DIMENSION LESS THAN THREE FEET SHALL BE PROVIDED ON EACH STORY. TWELVE SQUARE FEET OF FLOOR SPACE ALLOCATED TO SUCH REFUSE DISPOSAL ROOM SHALL BE EXCLUDED FROM THE DEFINITION OF FLOOR AREA PER STORY.
ZR 28-12	REFUSE STORAGE	IN BUILDINGS WITH 9 OR MORE DWELLING UNITS A STORAGE OF REFUSE SHALL OCCUR ENTIRELY WITHIN AN ENCLOSED AREA ON THE ZONING LOT AND APPROPRIATE LOCATIONS WITHIN THE ZONING LOT RESIDENTIAL STORAGE AND REMOVAL LOCATIONS SHALL BE PROVIDED AT THE RATE OF 2.9 CUBIC FEET PER DWELLING UNIT.
ZR 28-13	LAUNDRY FACILITIES	IF THE BUILDING PROVIDES THE FOLLOWING, THEN THAT PORTION OF THE LAUNDRY ROOM WHICH IS USED TO MEET THESE MINIMUM REQUIREMENTS SHALL BE EXCLUDED FROM THE DEFINITION OF FLOOR AREA: (A) AT LEAST ONE WASHING MACHINE PER 20 DWELLING UNITS AND AT LEAST ONE DRYER PER 40 DWELLING UNITS; (B) SUCH MACHINES ARE LOCATED IN A ROOM OR ROOMS WITH AN ADDITIONAL THREE SQUARE FEET OF UNOBSTRUCTED FLOOR SPACE EQUIPPED WITH CHAIRS AND TABLES FOR FOLDING LAUNDRY FOR EACH MACHINE PROVIDED; (C) SUCH ROOMS HAVE AT LEAST ONE EXTERIOR WALL WITH WINDOWS, OR CEILINGS WITH SKYLIGHTS, MEASURING NOT LESS THAN 9.5 PERCENT OF THE TOTAL FLOOR SPACE OF THE ROOMS;
ZR 28-14	DAYLIGHT IN CORRIDORS	FIFTY PERCENT OF THE SQUARE FOOTAGE OF A CORRIDOR MAY BE EXCLUDED FROM THE DEFINITION OF FLOOR AREA IF A WINDOW WITH A CLEAR, NON-TINTED, GLAZED AREA OF AT LEAST 20 SQUARE FEET IS PROVIDED IN SUCH CORRIDOR, PROVIDED THAT SUCH WINDOW: (A) SHALL BE DIRECTLY VISIBLE FROM AT LEAST 50 PERCENT OF THE CORRIDOR OR FROM THE VERTICAL CIRCULATION CORE. THIS STANDARD SHALL BE ACHIEVED WHEN A VISUALLY UNOBSTRUCTED STRAIGHT LINE CAN BE DRAWN BETWEEN SUCH CORRIDOR, ELEVATOR OR STAIRWELL, AND THE WINDOW; AND (B) IS FACING A STREET, YARD OR COURT THAT MEETS THE APPLICABLE REGULATIONS SET FORTH IN ARTICLE II, CHAPTER 3.
ZR 28-21	REQUIRED RECREATIONAL SPACE	IN BUILDINGS WITH 9 OR MORE DWELLING UNITS, A RECREATION SPACE OF 3.3% OF THE TOTAL RESIDENTIAL FLOOR AREA IS REQUIRED, THE MIN. DIMENSION OF ANY RECREATION AREA SHOULD BE 15 FEET THE MIN. AREA FOR INDOOR RECREATION SPACE SHOULD BE: 300 SF
ZR 28-22	STANDARDS FOR RECREATION SPACE	(D) ANY INDOOR RECREATION ROOM LOCATED IN A STORY SHALL HAVE AT LEAST ONE EXTERIOR WALL WITH WINDOWS, OR CEILING WITH SKYLIGHTS, THAT MEASURES NOT LESS THAN 9.5 PERCENT OF THE TOTAL FLOOR SPACE OF THE ROOM. WHERE WINDOWS ARE PROVIDED TO MEET SUCH REQUIREMENT, THEY SHALL FACE A STREET, YARD OR COURT THAT MEETS THE APPLICABLE REGULATIONS SET FORTH IN ARTICLE II, CHAPTER 3. WHERE SKYLIGHTS ARE PROVIDED TO MEET SUCH REQUIREMENT, THEY SHALL BE LOCATED IN A YARD OR COURT THAT MEETS THE APPLICABLE REGULATIONS SET FORTH IN ARTICLE II, CHAPTER 3 AND SHALL BE UNOBSTRUCTED FROM THEIR LOWEST LEVEL TO THE SKY, EXCEPT FOR PERMITTED OBSTRUCTIONS SET FORTH IN SECTION 23-87 (PERMITTED OBSTRUCTIONS IN COURTS).
ZR 28-23	PLANTING REQUIREMENTS	THE AREA OF THE ZONING LOT BETWEEN THE STREET LINE AND ALL STREET WALLS OF THE BUILDING SHALL BE PLANTED, EXCEPT THAT SUCH PLANTINGS SHALL NOT BE REQUIRED AT THE ENTRANCES TO AND EXITS FROM THE BUILDING, WITHIN DRIVEWAYS ACCESSING OFF-STREET PARKING SPACES LOCATED WITHIN, TO THE SIDE, OR REAR OF SUCH BUILDING.
ZR 28-31	DENSITY PER CORRIDOR	IN R6 DISTRICTS, IF THE NUMBER OF DWELLING UNITS SERVED BY A VERTICAL CIRCULATION CORE AND CORRIDOR ON EACH STORY DOES NOT EXCEED THE NUMBER SET FORTH IN THE FOLLOWING TABLE (11 DWELLING UNITS PER STORY), 50 PERCENT OF THE SQUARE FEET OF THE CORRIDOR SERVING SUCH DWELLING UNITS ON SUCH STORY MAY BE EXCLUDED FROM THE DEFINITION OF FLOOR AREA.



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