

LINDEN BOULEVARD

TWO WAY TRAFFIC

TWO WAY TRAFFIC

BEDFORD AVENUE

TWO WAY TRAFFIC

LEGEND

R7-1 QUALITY HOUSING PROGRAM

- PROPERTY LINE
- DISTRICT BOUNDARY
- PROPOSED BUILDING
- EXISTING BUILDING
- EXISTING TREE
- PROPOSED TREE



ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

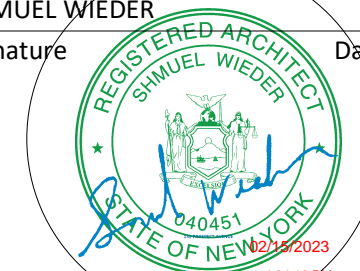
House No(s)	80
Street Name	LINDEN BOULEVARD
Borough	BROOKLYN
Block	5087
Lot (s)	8
BIN	#3116741

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications of documents with the Department.

Name (please print)

SHMUEL WIEDER

Signature _____ Date _____



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # B00736239-11

PLAN EXAMINER SIGN AND DATE

1 SITE PLAN ZD-1

SCALE: 1" = 20'-0"

LOT AREA : 7,906 SQ.FT.

ZR 23-153 LOT COVERAGE

LOT COVERAGE ALLOWED
WITHIN 100'-0" OF CORNER: 100%
BEYOND 100'-0" OF CORNER: 65%
LOT COVERAGE PROPOSED
WITHIN 100'-0" OF CORNER: 93%
BEYOND 100'-0" OF CORNER: 56%

ZR 23-47 REAR YARDS

REQUIRED
WITHIN 100'-0" OF A CORNER : N/A
BEYOND 100'-0" OF A CORNER : 30'-0" MIN.

EXISTING REAR YARD: 48'-8" (LOTS 7 & 107)

ZR 23-662 (C)(1) REQUIRED SETBACKS

REQUIRED SETBACKS: 10' - 0" @WIDE STREET
PROPOSED SETBACKS: 10' - 0"

ZR 23-62(g)(1)(2)(3) PERMITTED OBSTRUCTION

26' - 1" ON BEDFORD AVENUE
29' - 0" ON LINDEN BOULEVARD

ZR 23-661 (a)(1) STREET WALL

LINDEN AVENUE: ADJACENT NON COMPLYING > 10' - 0"

ZR 23-662 BUILDING HEIGHT

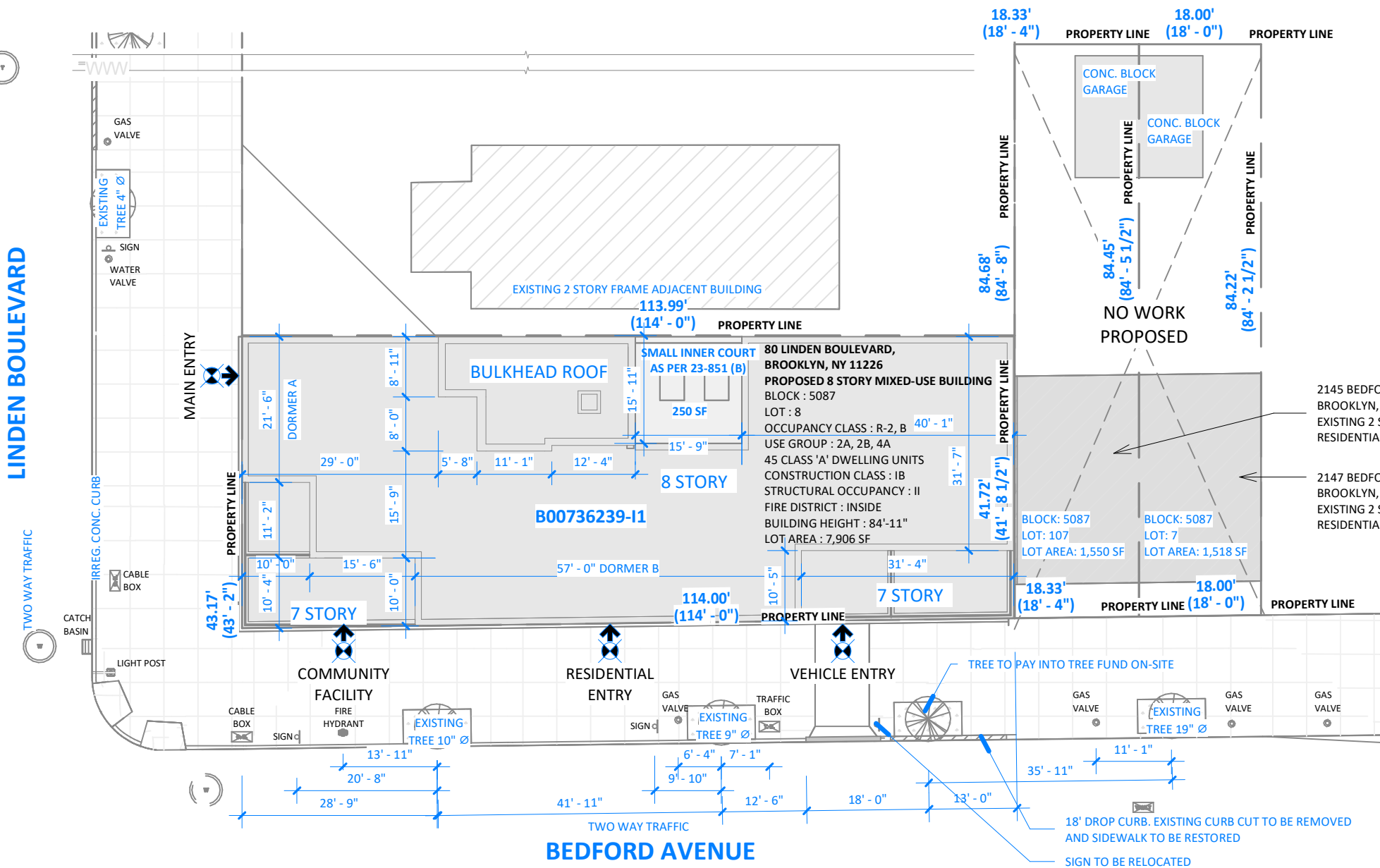
MIN. BASE HEIGHT: 40' - 0 "
PROPOSED: 74' - 11"

MAX. BASE HEIGHT: 75' - 0 "
PROPOSED: 74' - 11"

MAX BUILDING HEIGHT: 85' - 0 "
PROPOSED: 84' - 11"

80 LINDEN BOULEVARD, BROOKLYN, NY 11226 PROPOSED 8 STORY MIXED-USE BUILDING

BLOCK: 5087
LOT: 8
OCCUPANCY CLASS: R-2, B
USE GROUP: 2A, 2B, 4A
45 CLASS 'A' DWELLING UNITS
CONSTRUCTION CLASS: IB
STRUCTURAL OCCUPANCY: II
FIRE DISTRICT: INSIDE
BUILDING HEIGHT: 84' - 11"
LOT AREA: 7,906 SF



80 LINDEN BOULEVARD,
BROOKLYN, NY 11226
PROPOSED 8 STORY MIXED-USE BUILDING
BLOCK : 5087
LOT : 8
OCCUPANCY CLASS : R-2, B 40' - 1"
USE GROUP : 2A, 2B, 4A
45 CLASS 'A' DWELLING UNITS
CONSTRUCTION CLASS : IB
STRUCTURAL OCCUPANCY : II
FIRE DISTRICT : INSIDE
BUILDING HEIGHT : 84'-11"
LOT AREA : 7,906 SF

2145 BEDFORD AVENUE,
BROOKLYN, NY 11226
EXISTING 2 STORY
RESIDENTIAL BUILDING




2147 BEDFORD AVENUE,
BROOKLYN, NY 11226
EXISTING 2 STORY
RESIDENTIAL BUILDING

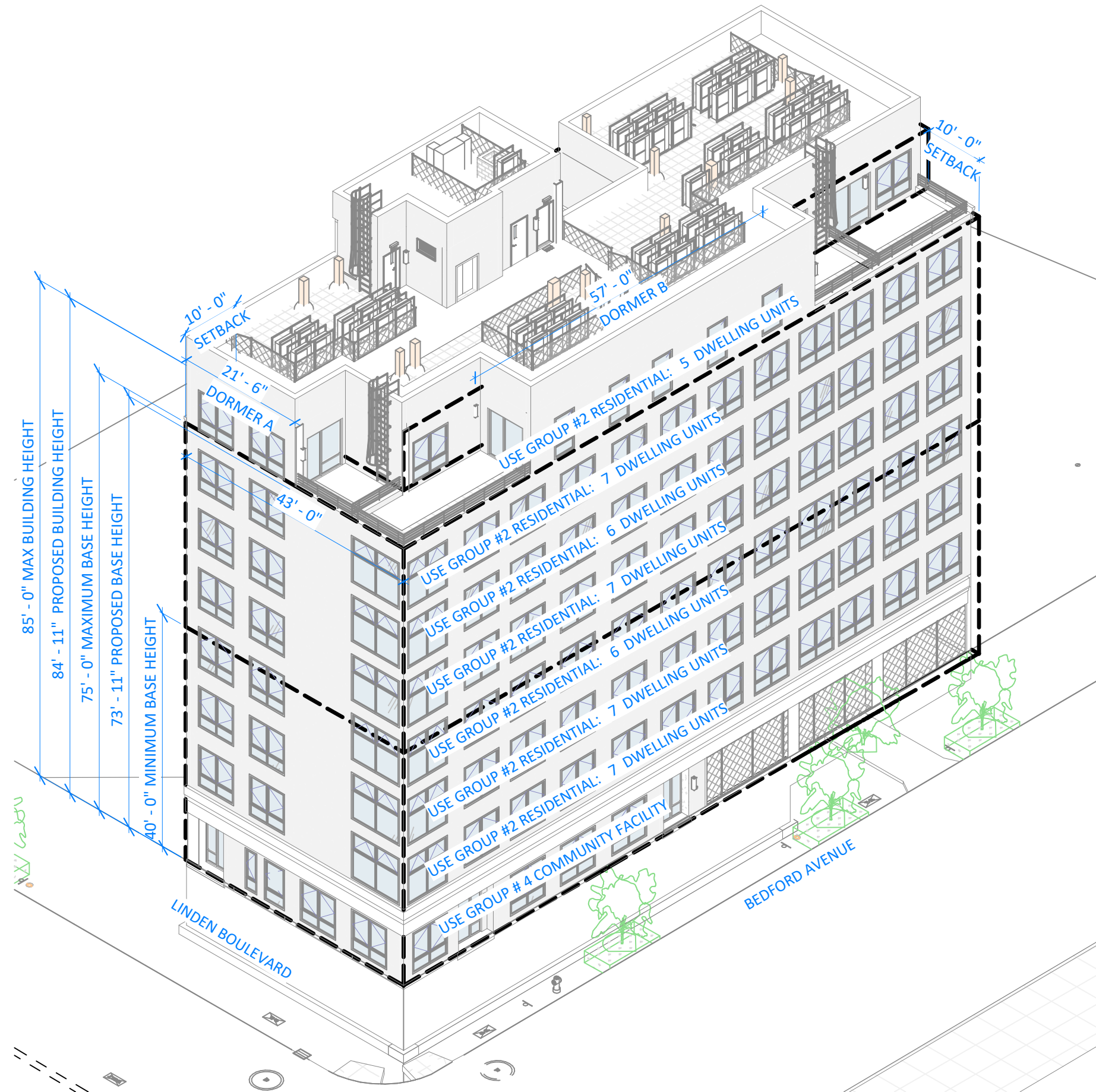
18' DROP CURB. EXISTING CURB CUT TO BE REMOVED
AND SIDEWALK TO BE RESTORED
SIGN TO BE RELOCATED

AXONOMETRIC DIAGRAM

NOT TO SCALE

LEGEND

-  MAXIMUM BUILDING ENVELOPE
-  PROPOSED BUILDING
-  PERMITTED OBSTRUCTION




1 **3D - AXONOMETRIC VIEW**
SCALE:



ZD1 Zoning Diagram

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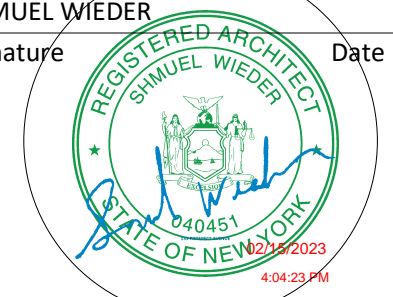
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Signature  Date _____



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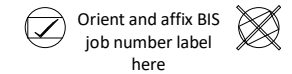
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PLAN EXAMINER SIGN AND DATE

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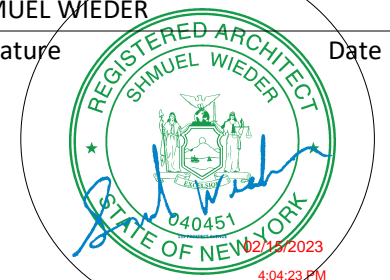
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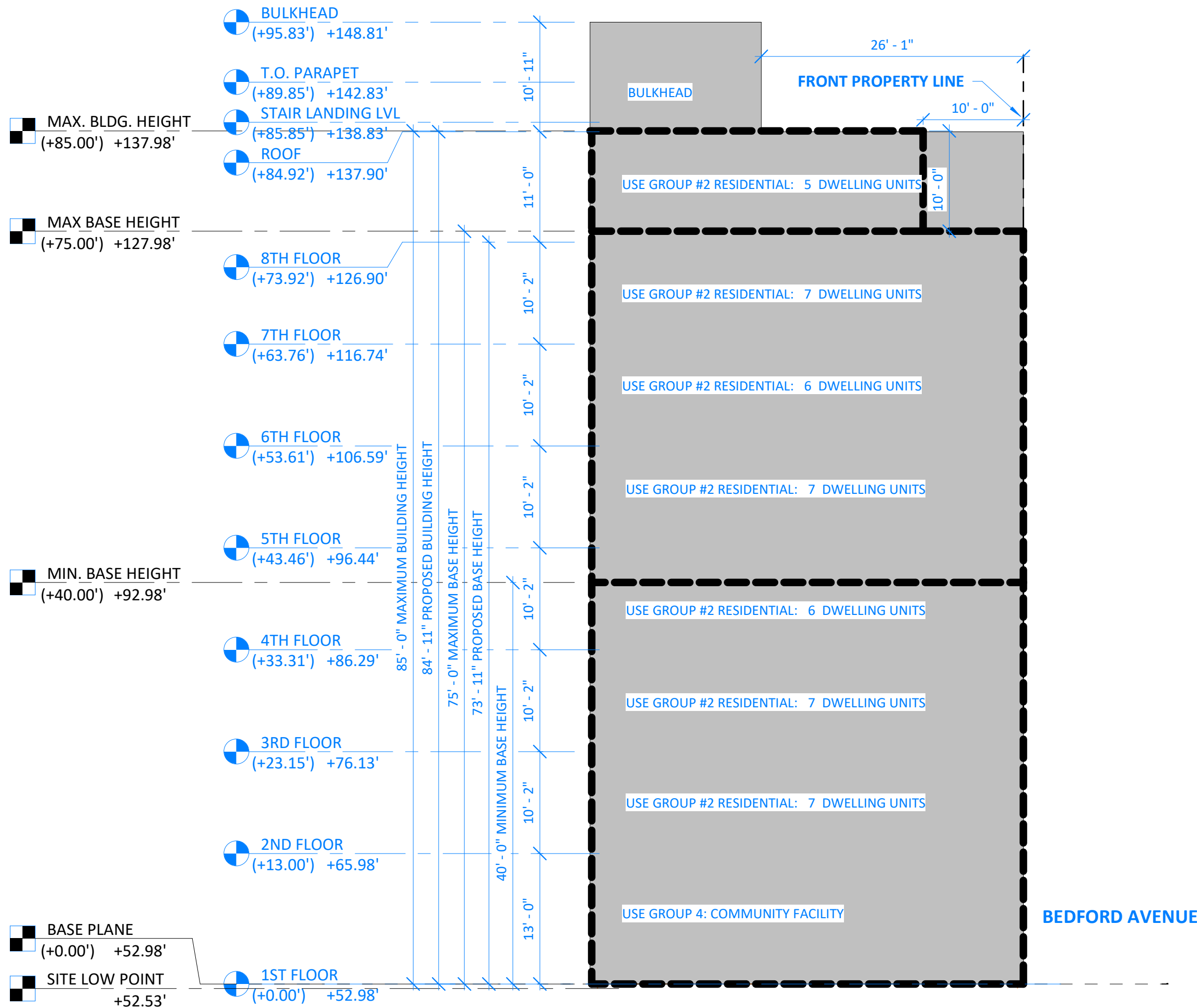


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MAX. BLDG. HEIGHT
 (+85.00') +137.98'

MAX BASE HEIGHT
 (+75.00') +127.98'

MIN. BASE HEIGHT
 (+40.00') +92.98'

BASE PLANE
 (+0.00') +52.98'

SITE LOW POINT
 +52.53'

1 ZONING SECTION DIAGRAM - ZD1

SCALE: 1" = 10'-0"

