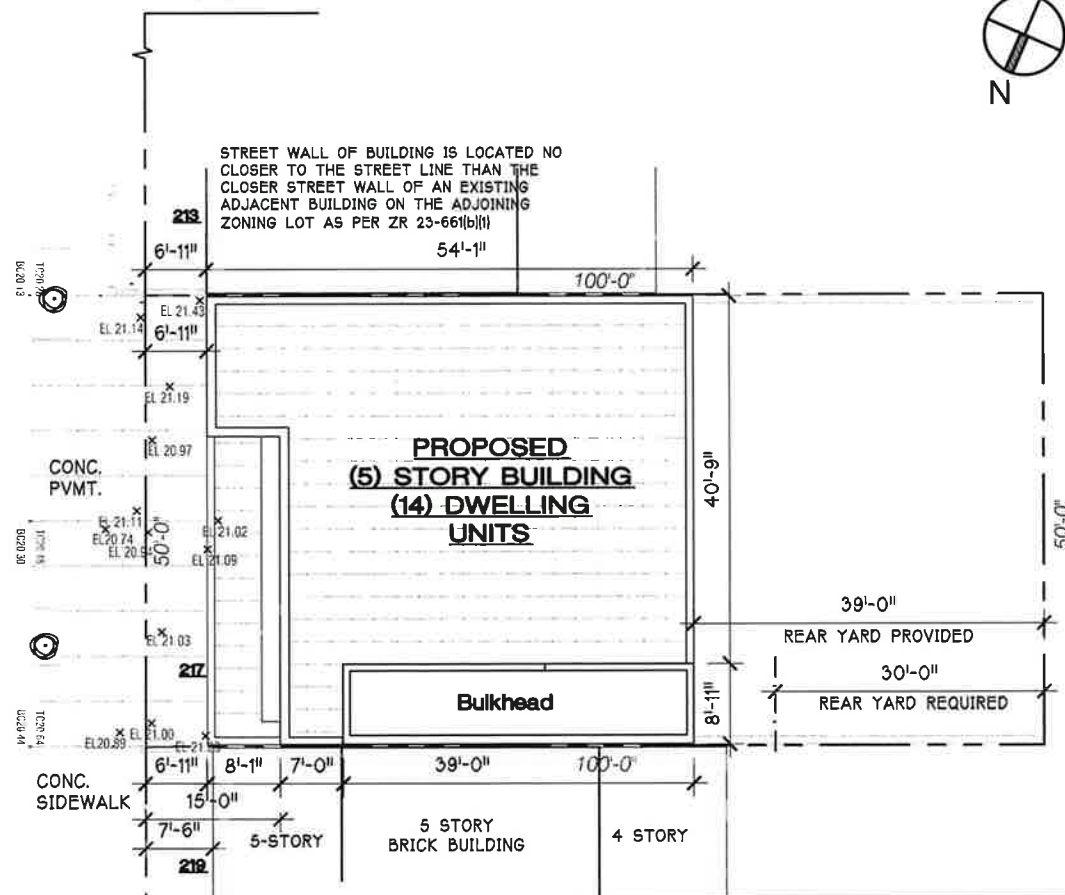


SITE PLAN DIAGRAM
SCALE NONE

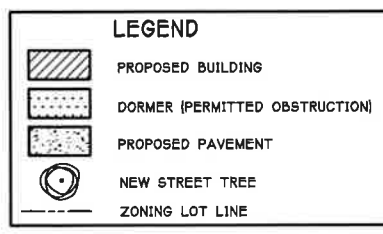
NORMAN AVENUE

ECKFORD STREET
50' WIDE



BASE PLANE CALCULATION AS PER Z.R. SEC. 12-10
LEVEL BETWEEN CURB LEVEL ALONG ECKFORD STREET AND STREET WALL LINE LEVEL:
21.43 + 21.14 + 21.19 + 20.87 + 21.11 + 21.02 + 20.84 + 20.74 + 21.09 + 21.03 + 21.23 + 21.00 + 20.89 + 252.76' / 13 = 21.06' => 21.06' IS THE BASE PLANE LEVEL FOR THIS BUILDING

STREET WALL LOCATION AS PER Z.R. SEC. 23-66(b)(1)
ON ZONING LOTS WITH AT LEAST 50 FEET OF FRONTAGE ALONG A STREET LINE, THE STREET WALL SHALL BE LOCATED NO CLOSER TO THE STREET LINE THAN THE CLOSER STREET WALL, OR PORTION THEREOF, OF AN EXISTING ADJACENT BUILDING ON THE SAME OR AN ADJOINING ZONING LOT LOCATED ON THE SAME STREET FRONTAGE, THAT IS BOTH WITHIN 15 FEET OF THE STREET LINE AND WITHIN 25 FEET OF SUCH QUALITY HOUSING BUILDING, WHERE SUCH EXISTING ADJACENT BUILDING, OR PORTION THEREOF, HAS STREET WALLS LOCATED AT VARIOUS DEPTHS, THE STREET WALL SHALL NOT BE LOCATED CLOSER TO THE STREET LINE THAN THE FURTHEST PORTION OF SUCH EXISTING ADJACENT STREET WALL THAT IS AT LEAST FIVE FEET IN WIDTH.



ZD1 Zoning Diagram
Must be type written.

B00695155

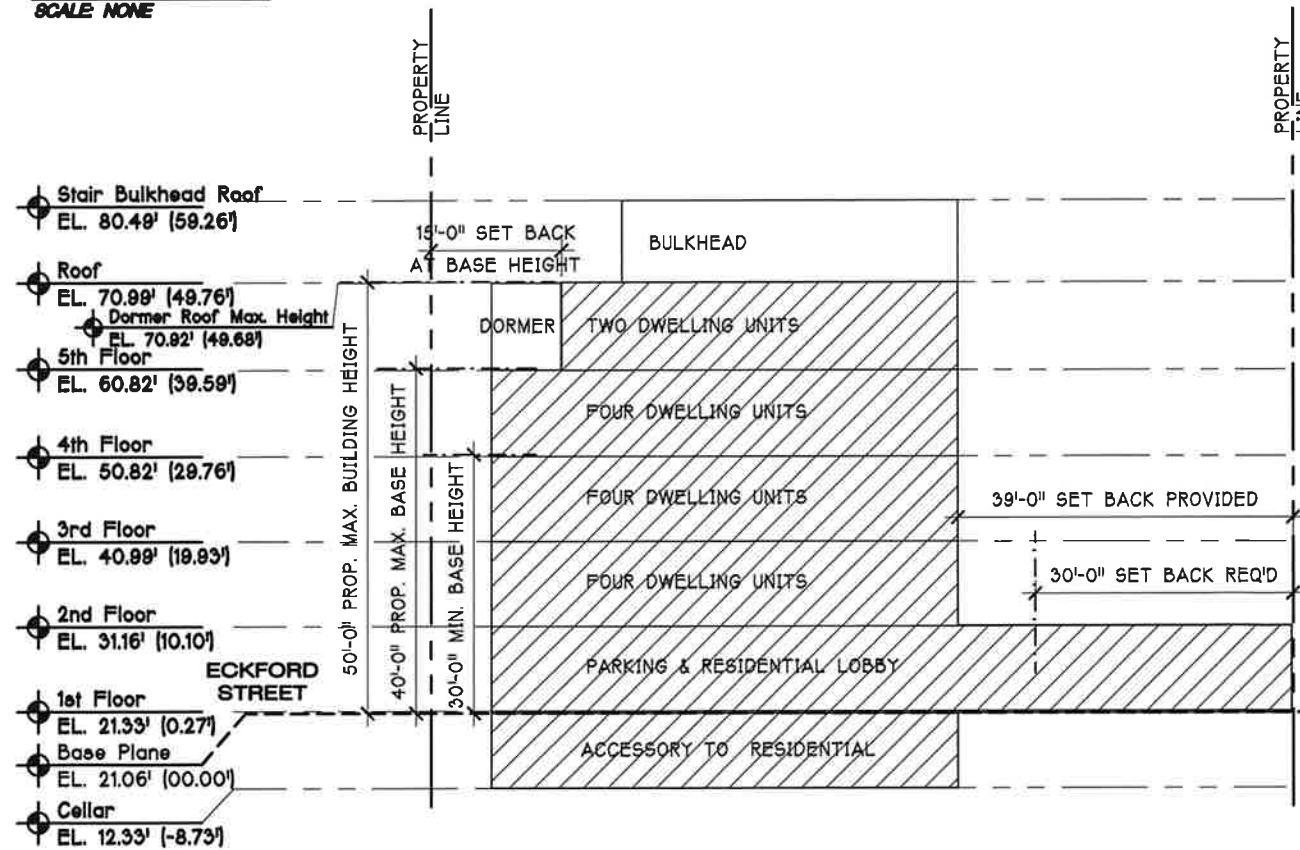
Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15. Yes No

Location Information

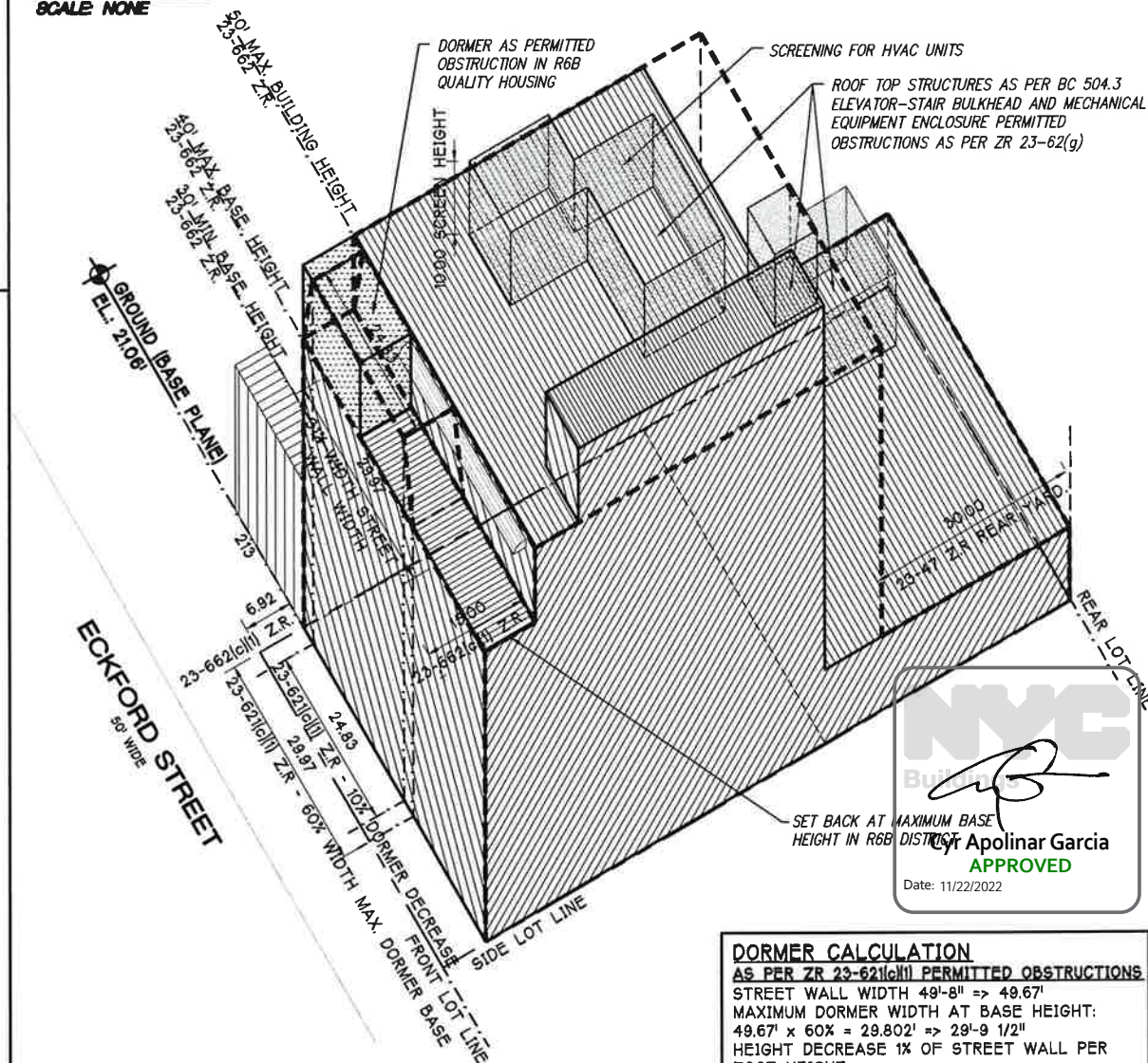
House No(s)	217
Street Name	ECKFORD STREET
Borough	BROOKLYN
Block	2621
Lot	20
BIN	3065680

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

SECTION DIAGRAM
SCALE NONE



AXONOMETRIC
SCALE NONE



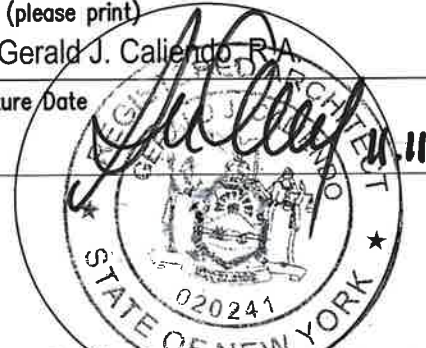
ROOFTOP STRUCTURES
AS PER 2014 BC 504.2
ROOF AREA = 2,284.82 SF
ALLOWABLE COVERAGE 33.33% = 761.53 SF
PROPOSED COVERAGE = 532.08 SF
532.08 SF < 761.53 => THEREFORE OK!

DORMER CALCULATION
AS PER ZR 23-62(c)(1) PERMITTED OBSTRUCTIONS
STREET WALL WIDTH 49'-8" => 49.67'
MAXIMUM DORMER WIDTH AT BASE HEIGHT:
49.67' x 60% = 29.802' => 29'-9 1/2"
HEIGHT DECREASE 1% OF STREET WALL PER FOOT HEIGHT:
DORMER HEIGHT: 10' x 1% = 10% DECREASE
MAXIMUM DORMER WIDTH AT TOP:
49.67' x (60% - 10%) = 24.835' => 24'-10"

DORMER PROVIDED CONSTANT WITH: 15'-6"
15'-6" < 29'-9 1/2" => OK
15'-6" < 24'-10" => OK

NYC Buildings
Signature: Apolinar Garcia
Date: 11/22/2022
APPROVED

Name (please print): Gerald J. Caliendo, P.E.
Signature Date: 11.22



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc #

PLAN EXAMINER SIGN AND DATE

