

SITE PLAN DIAGRAM  
1/16"=1'-0"



ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes  No

Location Information

House No(s) 88  
 Street Name NORTH 1ST  
 Borough BROOKLYN, NY  
 Block 2379  
 Lot 9  
 BIN # B00688688-11

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) HAMISH WHITEFIELD Date 09/01/2022

Signature \_\_\_\_\_ Date \_\_\_\_\_



P.E. / R.A. Seal (apply seal, then sign and date over seal)

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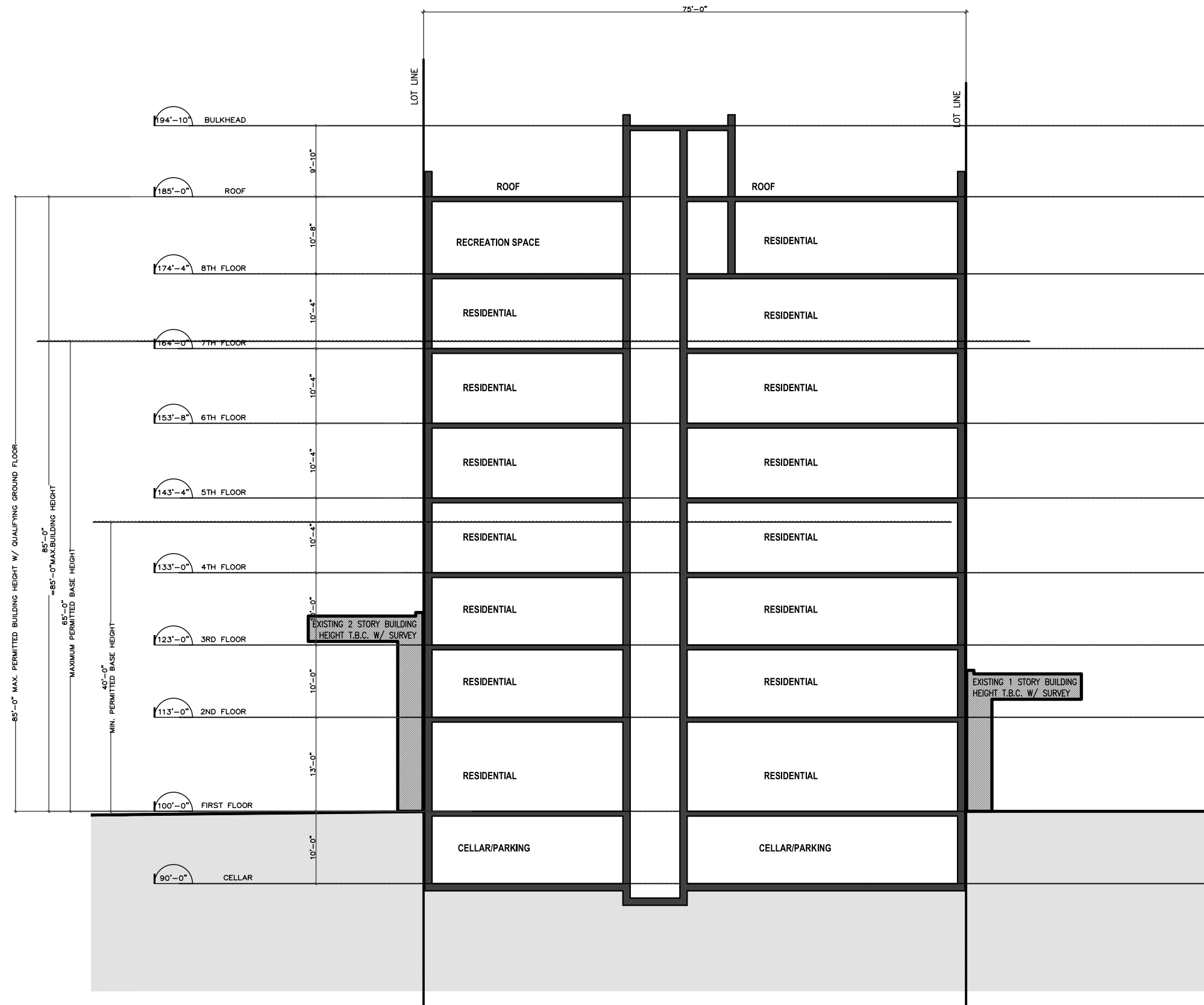


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SECTION DIAGRAM  
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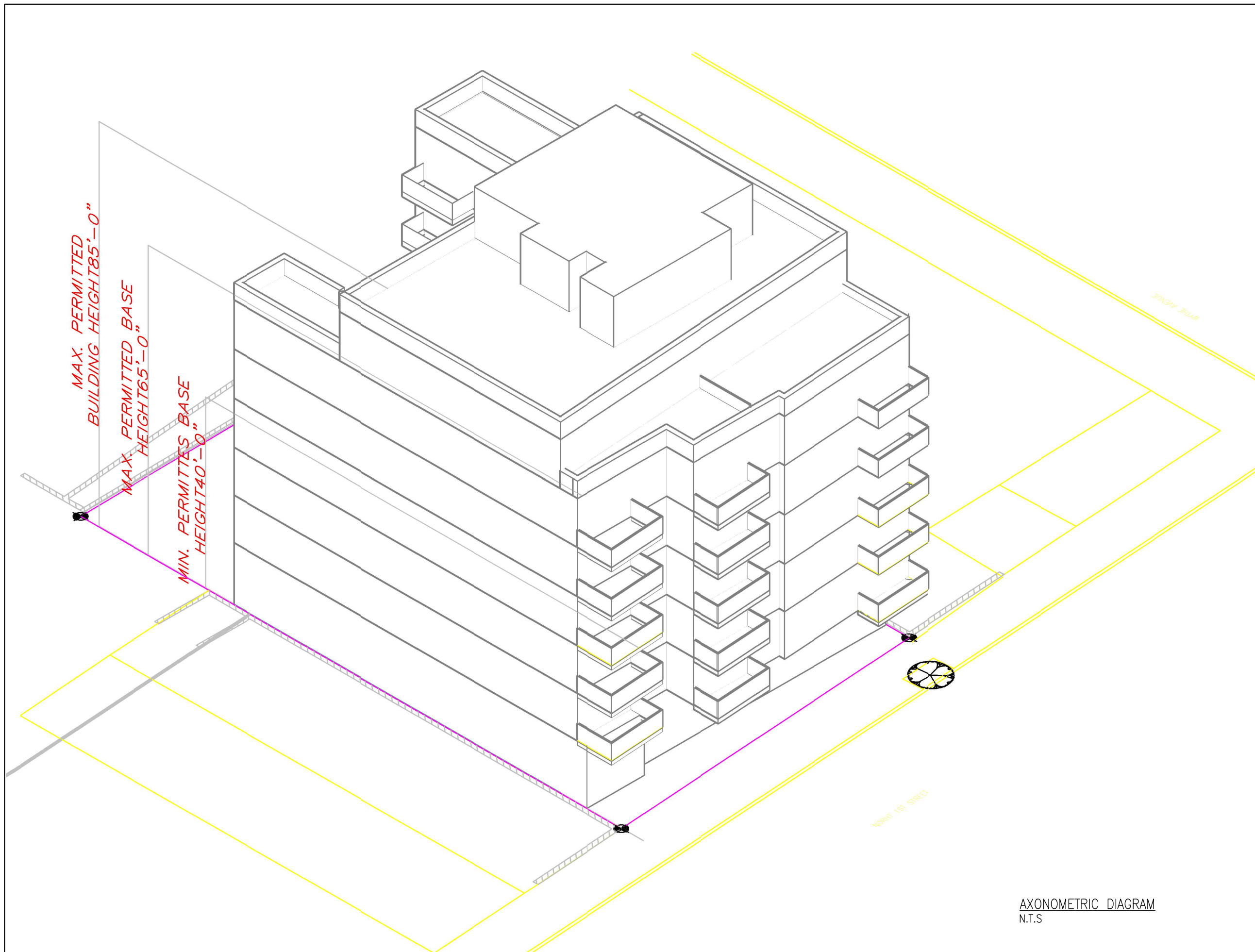


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AXONOMETRIC DIAGRAM  
N.T.S

BUILDING AREA CHART revised July 18, 2022

88 North 1st street

Floor	Total Gross Floor Area	Commercial Gross Floor Area	Community Facility Gross Floor Area	Residential Gross Floor Area	DEDUCTIONS										Commercial Net For FAR	Community Facility Net For FAR	Residential Net For FAR	Total Net For FAR		
					Parking Area	Bicycle Storage	LAUNDRY ROOM	OPEN TO BELOW	BULKHEAD	MECHANICAL DEDUCTIONS	RECREATION ROOM	REFUSE ROOM	50% CORRIDOR DENSITY	50% CORRIDOR LIGHT					EXTERIOR WALL GREATER THAN 8"	Quality Housing Deductions TOTAL
Cellar	9,146	924.00		8,222																
1st	5,794.00	704.00		5,090.00	1,443.00	360.00	462.00	331.00												
2	5,841.00			5,841.00																
3	5,841.00			5,841.00																
4	5,841.00			5,841.00																
5	5,841.00			5,841.00																
6	5,841.00			5,841.00																
7	4,700.00			4,700.00																
8	3,015.00			3,015.00																
Bulkhead	530.00			530.00					530.00											
<b>Total Gross Area Above Grade</b>	<b>43,244.00</b>	<b>704.00</b>	<b>0.00</b>	<b>42,540.00</b>	<b>1,443.00</b>	<b>360.00</b>	<b>462.00</b>	<b>331.00</b>	<b>530.00</b>	<b>640.71</b>	<b>1,058.00</b>	<b>96.00</b>	<b>1,987.00</b>	<b>2,592.50</b>	<b>967.00</b>	<b>10,487.21</b>	<b>704.00</b>	<b>0.00</b>	<b>32,052.79</b>	<b>32,756.79</b>
<b>Total Gross Area Incl. Cellar</b>	<b>52,389.70</b>	<b>1,628.00</b>	<b>0.00</b>	<b>50,761.70</b>	<b>1,443.00</b>	<b>360.00</b>	<b>462.00</b>	<b>331.00</b>	<b>530.00</b>	<b>640.71</b>	<b>1,058.00</b>	<b>96.00</b>	<b>1,987.00</b>	<b>2,592.50</b>	<b>987.00</b>	<b>10,487.21</b>	<b>704.00</b>	<b>0.00</b>	<b>32,052.79</b>	<b>41,902.49</b>

DISTRICT M1-2 / R6A (MX-8) / C2-4

<b>TOTAL LOT AREA</b>	<b>9,145.70 SF</b>
MAXIMUM PERMITTED COMMERCIAL FAR IN M1-2 / R6A (MX-4)	2 FAR
MAXIMUM PERMITTED COMMERCIAL ZONING FLOOR AREA	18,291.4 SF
COMMERCIAL FLOOR AREA PROVIDED	704.0 SF
BASE RESIDENTIAL FAR IN R6A with IH	2.70 FAR
BASE PERMITTED RESIDENTIAL ZONING FLOOR AREA	24693.4 SF
MAX RESIDENTIAL FAR IN R6A with IH	3.60 FAR
MAXIMUM PERMITTED RESIDENTIAL ZONING FLOOR AREA	32924.5 SF
RESIDENTIAL FLOOR AREA PROVIDED	32052.8 SF
MAXIMUM PERMITTED COMMUNITY FACILITY FAR	2.0 FAR
MAXIMUM PERMITTED COMMUNITY FACILITY ZONING FLOOR AREA	18291.4 SF
COMMUNITY FACILITY FLOOR AREA PROVIDED	0.0 SF

PROPOSED TOTAL ZONING FLOOR AREA	32,756.8 SF
UNDERBUILT	167.7 SF

EFFICIENCY Sellable / Area	Residential Sellable Area	Units revised July 18, 2022											Units				
		A	B	C	D	E	F	G	H	I	J	K					
0.00																	0
0.00																	0
0.00%	0.00																0
83.48%	4,876.00	1,044	409	402	1,003	438	540	554	486								8
83.48%	4,876.00	1,044	409	402	1,003	438	540	554	486								8
83.53%	4,879.00	1,044	409	402	1,003	927	540	554									7
83.53%	4,879.00	1,044	409	402	1,003	927	540	554									7
83.53%	4,879.00	1,044	409	402	1,003	927	540	554									7
80.79%	3,797.00	1,052	350	402	830	534		629									6
54.03%	1,629.00		350	402	877												3
0.00																	0
	29,815.00																46

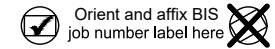
Type		%
STUDIO	18	39%
1 BR	14	30%
2 BR	14	30%
TOTAL	46	100%

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**ZONING ANALYSIS**

ADDRESS:	88 North 1st street, Brooklyn, NY 11249		
Block:	2379		
Lot(s):	9		
Zoning District(s):	MX-8,M1-2 / R6A & R6A/C2-4 COMMUNITY DISTRICT BROOKLYN 1		
Zoning Map:	12c		
Total Lot Area	9,145.7 SF (2,378.7 SF within R6A/C2-4 + 6,767 SF within MX-8, M1-2/R6A)		
Lot Area in R6A/C2-4	2,378.70	26%	
Lot Area in MX-8, M1-2/R6A	6,767.00	73.99%	
Total Lot Area	9,145.70		
Inclusionary Designated Areas	YES, BC1 MAP 2		
Flood Zone	N/A, Zone X (0.2 % of annual chance flood)		
Environmental Designation	YES		
Community District	Brooklyn CB 1		

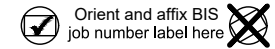
Applicable ZR Section	Item	Required/Permitted	Proposed	Compliance
<b>Use Regulations</b>				
ZR 123-20 ZR 22-10	SPECIAL USE REGULATIONS	IN MX DISTRICTS ALL USES PERMITTED IN THE DESIGNATED RESIDENCE DISTRICT AND M1 DISTRICT SHALL BE PERMITTED. USE GROUP PERMITTED IN R6 DISTRICT: RESIDENTIAL: 1-2 COMMUNITY FACILITY: 3-4	UG 2, RESIDENTIAL & UG 6, COMMERCIAL	COMPLIES
<b>Bulk Regulations</b>				
77-00	SPECIAL PROVISIONS FOR ZONING LOT DIVIDED BY DISTRICT BOUNDARIES			
77-02	ZONING LOTS NOT EXISTING PRIOR TO EFFECTIVE DATE OR AMENDMENT OF RESOLUTION	Zoning lot didn't exist prior to 1961 therefore "each portion of the zoning lot shall be regulated by all the provisions applicable to the district in which such portion of the zoning lot is located".	REGULATED BY THE PROVISIONS APPLICABLE TO DISTRICTS M1-2(R6A) AND R6A/C2-4	COMPLIES
77-22	FLOOR AREA RATIO	The floor area resulting from application of the adjusted maximum floor area ratio may be located anywhere on the zoning lot, provided that the floor area ratio for any portion of the zoning lot within one district shall not exceed the maximum floor area ratio, specified for that district, or the adjusted maximum floor area ratio for the zoning lot, whichever is greater.	MAX FAR COMPLIES SINCE BOTH LOTS HAVE THE SAME MAX FAR	COMPLIES
77-22(a)	FLOOR AREA RATIO	Whenever a zoning lot is divided by a boundary between two or more districts and such zoning lot did not exist on December 15, 1961, or any applicable subsequent amendment thereto, each portion of such zoning lot shall be regulated by all the provisions applicable to the district in which such portion of the zoning lot is located. However, the provisions of ZR 77-22(a) shall apply to zoning lot created at any time where different bulk regulations apply to different portions of such zoning lot.	R6A Max RES FAR = 3.6 * 26% = 0.936 MX-8/M1-2 Max Res. FAR = 3.6 * 73.99% = 2.66364 Total adjusted FAR = 3.6	COMPLIES
ZR 123-32 ZR 11-15	ENVIRONMENTAL CONDITIONS	IN SPECIAL MIXED USE DISTRICTS, ALL NEW DWELLINGS UNITS SHALL BE PROVIDED WITH A MINIMUM OF 35 DBA OF WINDOW WALL ATTENUATION TO MAINTAIN AN INTERIOR NOISE LEVEL OF 45 DBA OR LESS WITH WINDOWS CLOSED. AND SHALL PROVIDE ALTERNATE MEANS OF VENTILATION.	NEW DWELLINGS IN THE MX DISTRICT WILL BE PROVIDED WITH A MINIMUM OF 35 DBA OF WINDOW WALL ATTENUATION TO MAINTAIN AN INTERIOR NOISE LEVEL OF 45 DBA OR LESS WITH WINDOWS CLOSED. ALTERNATE MEANS OF VENTILATION IS PROVIDED.	COMPLIES
ZR 123-63/23-153 /77-22 see above	MAXIMUM FLOOR AREA RATIO AND LOT COVERAGE FOR ZONING LOTS CONTAINING ONLY RESIDENTIAL USE	MAXIMUM FLOOR AREA OF RESIDENTIAL USE BUILDINGS IN INCLUSIONARY HOUSING DESIGNATED AREAS SHALL USE SECTION 23-154 (SEE BELLOW) LOT COVERAGE = 65 %	MAX FAR COMPLIES WITH 23-952 FOR FAR SEE BELLOW LOT COVERAGE = 63.3% SEE Z-002a	COMPLIES
ZR 23-952 ZR 23-154 (b) ZR	FLOOR AREA COMPENSATION IN INCLUSIONARY HOUSING DESIGNATED AREAS RESIDENTIAL BUILDINGS	Max FAR in R6A in Inclusionary Designated Area = 3.6 The Base FAR in R6A Residential District in an Inclusionary Housing Designated Area = 2.7 Max FAR within R6A (with I.H. bonus) = 3.6 x 9,145.7 SF = 32,924.52 SF INCLUSIONARY HOUSING CERTIFICATES PROVIDED FOR IH REQUIREMENTS 32,924.52 * 20% = 6,584.90 sf of IH certificates provided	PROPOSED RESIDENTIAL FAR = 3.51 FLOOR AREA PROPOSED = 32,052.79 (RESIDENTIAL) PROPOSED COMMERCIAL FAR = 0.07 PROPOSED TOTAL FAR = 3.51 + 0.07 = 3.58 < 3.6	COMPLIES
ZR 123-64 ZR 23-154 ZR 43-10	Maximum Floor Area Ratio for Zoning Lots Containing Mixed Use Buildings	Max FAR in R6A in Inclusionary Designated Area = 3.6 The Base FAR in R6A Residential District in an Inclusionary Housing Designated Area = 2.7 Max FAR within R6A (with I.H. bonus) = 3.6 x 9,145.7 SF = 32,924.52 SF MAX FAR within M1-2 = 2.00 x 91,45.7 = 18291.4SF	PROPOSED TOTAL SF. = 32,052.79 32,052.79 < 32,924.52 SEE CALCULATION ON Z-001 PROPOSED COMMERCIAL FAR = 0.07 PROPOSED TOTAL COMMERCIAL AREA = 704 704 < 18291.4	COMPLIES
ZR 23-22 / 23-24	MAXIMUM NUMBER OF DWELLING UNITS / SPECIAL PROVISIONS IN BUILDING CONTAINING MULTIPLE USES	MAX. No. OF DWELLING UNITS = RESIDENTIAL FLOOR AREA - COMMERCIAL / FACTOR (680) MAX No of D.U. WITHIN R6A 32,052.79 / 680 = 48 UNITS	TOTAL 46 UNITS PROVIDED	COMPLIES
ZR 23-03 ZR 26-40	STREET TREE PLANTING IN RESIDENCE DISTRICT	STREET TREES: ONE STREET TREE FOR EVERY 25 FEET OF BUILDING FRONTAGE IS REQUIRED 75'-2' / 25 = 3 NORTH 11TH	3 NEW TREES PROVIDED, OR TO PAY INTO TREE FUND	
ZR 23-86	MINIMUM DISTANCE BETWEEN LEGALLY REQUIRED WINDOW AND WALLS OR LOT LINES	30 FEET MIN REQUIRED DISTANCE BETWEEN LEGALLY REQUIRED WINDOWS AND WALLS OR LOT LINES.	30'-0" MIN DISTANCE PROVIDED	
ZR 123-652	SPECIAL YARD REGULATIONS FOR MIXED USE BUILDINGS	IN MX-8 NO FRONT YARDS OR SIDE YARDS ARE REQUIRED IF ANY SIDE YARD IS PROVIDED AT ANY LEVEL SUCH AREA SHALL HAVE A MIN. WIDTH OF 8'-0"	NO PROPOSED FRONT YARD. NO PROPOSED SIDE YARD.	COMPLIES

ZONING ANALYSIS  
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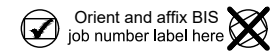
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ZR 23-541	WITHIN 100 FEET OF CORNERS	A REAR YARD IS NOT REQUIRED WITHIN A 100' OF THE POINT OF INTERSECTION OF TWO STREETS	NO REAR YARD PROVIDED FOR THE PORTION OF THE LOT WITHIN 100 FT OF THE CORNER OF NORTH 1ST AND WYTHE.	COMPLIES
ZR 23-62	PERMITTED OBSTRUCTIONS	PERMITTED OBSTRUCTIONS (PROPOSED) THE FOLLOWING SHALL NOT BE CONSIDERED OBSTRUCTIONS AND MAY PENETRATE A MAX HEIGHT LIMIT: PARAPET WALLS NOT MORE THAN 4'-0" HIGH, ELEVATOR OR STAIR BULKHEAD, ROOF WATER TANKS, COOLING TOWERS (INCLUDING ENCLOSURES), CHIMNEY	PROPOSED OBSTRUCTION ARE PERMITTED.	COMPLIES
ZR 23-621 (C)	PERMITTED OBSTRUCTIONS IN CERTAIN DISTRICTS	DORMER ALLOWED WITHIN A REQUIRED SETBACK DISTANCE. MAY EXCEED MAX BASE HEIGHT IF ON ANY STREET FRONTAGE. THE AGGREGATE WIDTH OF ALL DORMERS AT THE MAX BASE HEIGHT DOES NOT EXCEED 60% OF THE LENGTH OF THE STREET WALL OF THE HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT		COMPLIES
ZR 123-66	HEIGHT AND SETBACK REGULATIONS	HEIGHT AND SETBACK REGULATIONS FOR MX-8 HEIGHT TO BE MEASURED FROM BASE PLANE	COMPLIES - HEIGHT MEASURED FROM BASE PLANE BASE PLANE = EL. 36.51' (SEE BASE PLANE CALC. Z-003)	COMPLIES
ZR 123-662 (b) ZR 23-664(b)(i)	MAXIMUM BUILDING HEIGHT AND SETBACK REGULATIONS	HEIGHT AND SETBACK WITHIN R6A MIN. BASE = 40'-0" (R6A) MAX. BASE = 65'-0" (R6A) SETBACK = 15'-0" (NARROW ST) MAX. HEIGHT = 85'-0" (R6A) NUMBER OF STORIES=8	SEE SCHEMATIC SECTIONS ON ZONING SHEET Z-003B PROVIDED: BASE HEIGHT = 65'-0" SETBACK NARROW - 15'-0" BUILDING HEIGHT = 85'-0" NUMBER OF STORIES=8	COMPLIES
<b>Accessory Off-Street Parking and Loading Regulations</b>				
ZR 123-72	PARKING FOR RESIDENTIAL USE	ACCESSORY OFF-STREET PARKING IS REQUIRED AS PER ARTICLE II CHAPTER 5	ALL ACCESSORY PARKING PROVIDED ON SITE.	COMPLIES
ZR 123-70/ ZR 25-23 ZR 43-10 ZR 36-21/ZR 36-232	ACCESSORY PARKING FOR QUALITY HOUSING	ACCESSORY PARKING FOR QUALITY HOUSING = 50% OF DWELLING UNITS NOTE: 1 SPOT BUT NOT LESS THAN 5% OF TOTAL PARKING SPACES SHALL BE SUITABLE FOR USE BY THE DISABLED. 46 UNITS X 50% = 23 SPACES REQUIRED COMMERCIAL PARKING SPACES = 1 PER 1000 SQ.FT OF FLOOR AREA. 1628/1000 = 2 SPACES REQUIRED.	23 SPACES PROVIDED FOR ATTENDANT PARKING FOR RESIDENTIAL USE  THE NUMBER OF PARKING LESS THAN 40 CAN BE WAIVED, SO NO PARKING SPACE IS PROVIDED FOR COMMERCIAL (SEE Z001).	COMPLIES
ZR 44-31	GENERAL PROVISIONS	In all districts, as indicated, all permitted or required off-streetparking spaces, open or enclosed, accessory to any permitted use shall be provided on the same zoning lot as thebuilding or use to which such spaces are accessory.	PROPOSED PARKING SPACES ARE LOCATED WITHIN THE SAME ZONING LOT. SEE A-100	COMPLIES
ZR 123-72 / ZR 25-811 / ZR 44-60 ZR 36-711	ENCLOSED BICYCLE PARKING SPACES	1 PER 2 DWELLING UNITS 46 DWELLING UNITS X 50% = 23 SPACES REQUIRED 15 SF PER BICYCLE SPACE. 23 x 15 SF = 345 SF MIN BICYCLE SPACE  1 PER 10,000 SQ.FT. OF FLOOR AREA FOR COMMERCIAL BICYCLE SPACE, 1628/10000 = 0.16 = 1 SPACE REQUIRED	BICYCLE AREA OF 360 SF PROVIDED. 345 / 15 SF = 23 SPACES PROVIDED FOR RESIDENTIAL SPACE(see plan A-100)  15/15 = 1 BICYCLE SPACE PROVIDED FOR COMMERCIAL SPACE TOTAL BICYCLE SPACES PROVIDED = 24 5% OF 24 PARKING SPACES = 1.2 DISABLED SPACE REQUIRED 2 SPACES ARE PROVIDED FOR DISABLED	COMPLIES
ZR 26-15	CURB CUTS	CURB CUT PERMITTED ALONG NARROW STREET , PROVIDED THAT NO ZONING LOT HAS MORE THAN ONE CURB ON ANY NARROW STREET FRONRAGE	1 CURB CUT PROPOSED. ONGRAND STREET FOR PARKING	COMPLIES

<b>Quality Housing Regulations</b>				
ZR 26-40/41	STREET TREE PLANTING	STREET TREES: ONE TREE PER 25'-0" OF STREET FRONTAGE. TREES SHALL BE MIN 3" CALIPER AT TIME OF PLANTING AND BE PLACED AT APPROX. EQUAL INTERVALS.	NORTH 1ST ST. = 75'-2"/25 = 3 TREES REQUIRED - 3 TREES TO BE PLANTED OFFSITE OR TO PAY INTO TREE FUND	COMPLIES
ZR 28-12	REFUSE STORAGE AND DISPOSAL	RESIDENTIAL REFUSE STORAGE: 2.9 CU.FT. PER DWELLING UNIT. AT LEAST 1 FOR RESIDENTIAL USES. 2.9 CU. FT. X 46 UNITS = 133.4 CU. FT. REQUIRED  HANDICAP ACCESSIBLE REFUSE DISPOSAL ROOM AT EACH LEVEL 12 S.F. PER STORY WITH MIN DIMENSION OF 3'-0". 12 SQ FT OF SUCH REFUSE DISPOSAL, SHALL BE EXCLUDED FROM THE FLOOR AREA PER STORY	RESIDENTIAL REFUSE STORAGE PROVIDED ON CELLAR LEVEL: 497 SF X 8 FEET (HEIGHT) = 3,976 CU. FT. PROVIDED COMMERCIAL REFUSE STORAGE OF 93 SF PROVIDED ON CELLAR LEVEL. SEE A-100. REFUSE DISPOSAL ROOM GREATER THAN 12 S.F. PROVIDED ON EACH FLOOR, SEE PLAN DETAIL G-006. SEE PLANS A100 - A106. AREA OF 12 SQ FT EXCLUDED FROM THE FAR PER STORY.	COMPLIES  COMPLIES
ZR 28-13	LAUNDRY FACILITIES	LAUNDRY FACILITIES: 1 WASHING MACHINE PER 20 DWELLING UNITS AND 1 DRYER PER 40 BUILDING UNITS	STACKED WASHING MASHINE AND DRYER PROVIDED IN EACH DWELLING UNIT.	COMPLIES
ZR 28-14	DAYLIGHT IN CORRIDORS	DAYLIGHT IN CORRIDORS 50% OF S.F OF CORRIDOR MAY BE EXCLUDED FROM FAR IF A WINDOW WITH A CLEAR, NON-TINTED, GLAZED AREA OF A MIN 20 S.F. IS PROVIDED, IT IS VISIBLE FROM 50% OF CORRIDOR OR VERTICAL CIRCULATION CORE AND IS LOCATED MIN 20'-0" FROM A WALL	CLEAR WINDOW WITH MIN 20 SF OF CLEAR GLAZING IS PROVIDED AT THE END OF CORRIDOR AND VISIBLE FROM THE ELEVATOR CORE  SEE DEDUCTION SHEETS FOR DAYLIGHT IN CORRIDOR	COMPLIES
ZR 28-20/ 21	RECREATION SPACE AND PLANTING AREAS	RECREATIONAL SPACE FOR BLDG. WITH 9 D.U. OR MORE MIN. 3.3% OF RESIDENTIAL FLOOR AREA (net) REQUIRED SPACE IN R6A = 3.3% X 32,052.79 SF = 1,058 SF	INDOOR RECREATION SPACE PROVIDED ON 8th FLOOR 559 SF & 1ST FLOOR 615 SF Exterior Recreation space = 5,048 SF SEE A-101/106/107	COMPLIES
ZR 28-22	STANDARDS FOR RECREATION SPACE	RECREATIONAL SPACE STANDARDS - ACCESSIBLE - MIN. DIMENSION 15'-0" - MIN. 300 S.F. IF INDOORS - MIN. 9.5% WINDOW IF INDOORS	RECREATION SPACE PROVIDED : - MIN. DIMENSION 15'-0" - 1174 S.F. INDOOR IN R6-A : - MIN. 9.5% WINDOW FOR INDOOR	COMPLIES
ZR 28-23	PLANTING AREAS	PLANTING AREAS: SPACE BETWEEN STREET WALL & STREET LINE SHALL BE PLANTED.	PLANTING AREAS BETWEEN STREET WALL & STREET LINE	COMPLIES
ZR 28-31	DENSITY PER CORRIDOR	DENSITY PER CORRIDOR: 50% OF S.F. OF CORRIDOR MAY BE EXCLUDED FROM FAR IF # OF DWELLING UNITS SERVED BY CORRIDOR ON EACH STORY DOES NOT EXCEED 11	LESS THAN 11 UNITS PER FLOOR PROVIDED ON ALL RESIDENTIAL FLOORS	COMPLIES
ZR 23-661	STREET WALL LOCATION	THE STREET WALL ON NORTH 1ST STREET (IN R6A AND STREET FRONTAGE GREATER THAN 50')AT THE STREET WALL SHALL BE LOCATED NO CLOSER TO THE STREET LINE THAN THE CLOSEST STREET WALL ON THE ADJOINING ZONING LOT.	NO STREET WALL IS CLOSER THAN THE NEIGHBORING BUILDINGS.	COMPLIES

ZONING ANALYSIS  
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