

JOB# B00685399-P4

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.
 Yes No

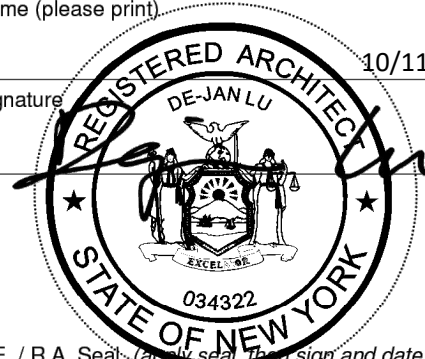
Location Information

House No(s)	1629
Street Name	BROOKLYN AVENUE
Borough	BROOKLYN
Block	7564
Lot	26
BIN	3206133

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications or documents with the Department.

Name (please print) _____

Signature  Date 10/11/23



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # _____

PLAN EXAMINER SIGN AND DATE

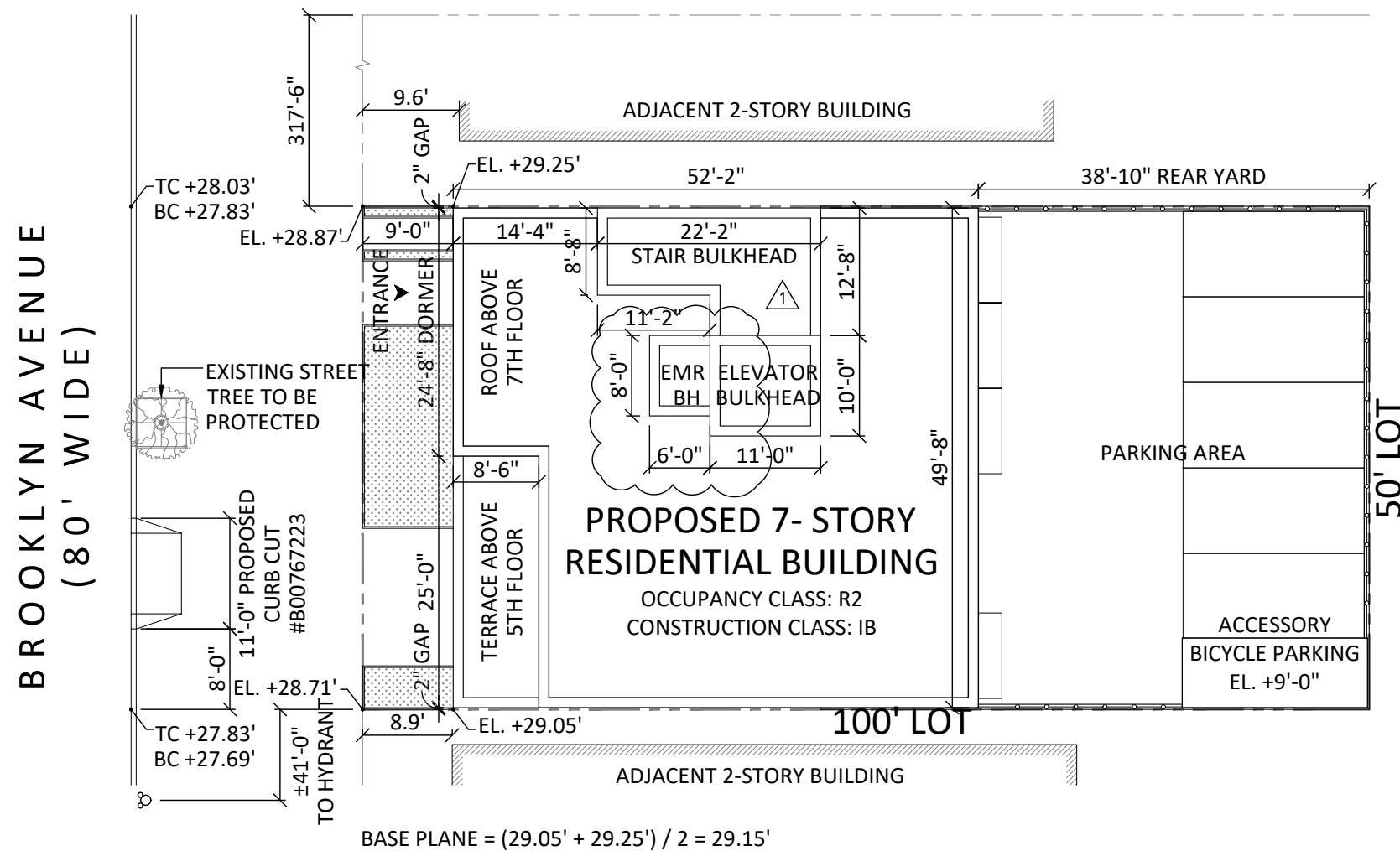
ZONING SUMMARY

MAX. RESIDENTIAL FLOOR AREA (ZR 23-153)
PERMITTED MAX. FAR = 3.00
PERMITTED FLOOR AREA = 15,000 SF
PROPOSED FAR = 3.00
PROPOSED FLOOR AREA = 14,999.98 SF
MAX. LOT COVERAGE (ZR 23-153)
PERMITTED MAX. LOT COVERAGE = 65%
PROPOSED LOT COVERAGE = 51.8%

MAX. BUILDING HEIGHTS (ZR 23-662)
PERMITTED MIN. BASE HEIGHT = 40'-0"
PERMITTED MAX. BASE HEIGHT = 65'-0"
PERMITTED MAX. BUILDING HEIGHT = 70'-0"
PROPOSED BASE HEIGHT = 50'-0"
PROPOSED BUILDING HEIGHT = 70'-0"
REQUIRED SETBACK (ZR 23-662(c)(1))
10' SETBACK REQUIRED FOR WIDE STREET
STREET WALL IS LOCATED 9' BEHIND STREET LINE
7' MIN SETBACK REQUIRED, 8'-6" SETBACK PROPOSED

REQUIRED REAR YARD (ZR 23-47)
REQUIRED REAR YARD: 30'
PROPOSED REAR YARD: 38'-10"

**GLENWOOD ROAD
(80' WIDE)**



BASE PLANE = (29.05' + 29.25') / 2 = 29.15'

SITE PLAN DIAGRAM

SCALE: 1/16" = 1'-0"



Orient and affix BIS job number label here

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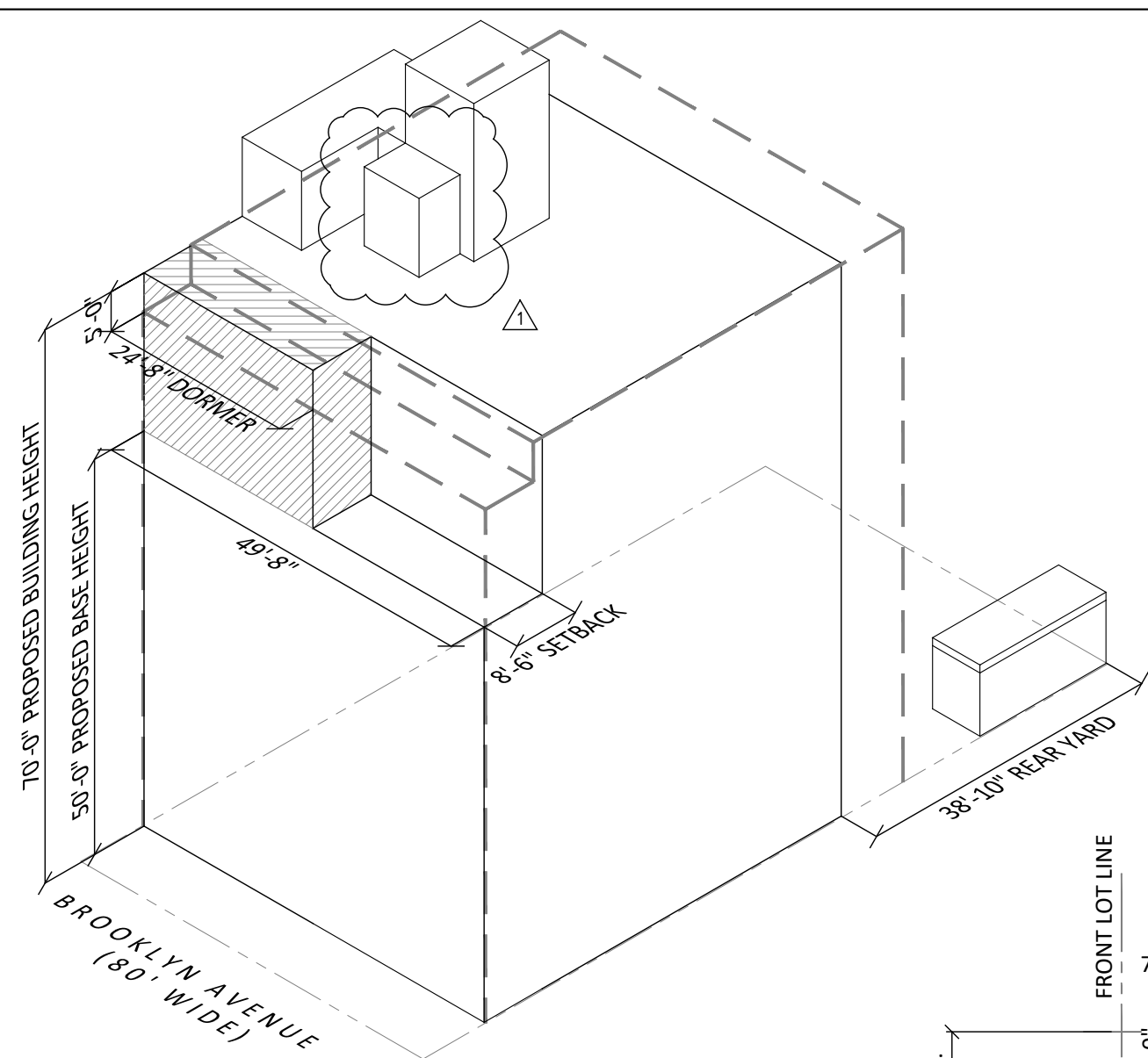
Signature  DE-JAN LU Date

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


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AXONOMETRIC DIAGRAM
NOT TO SCALE

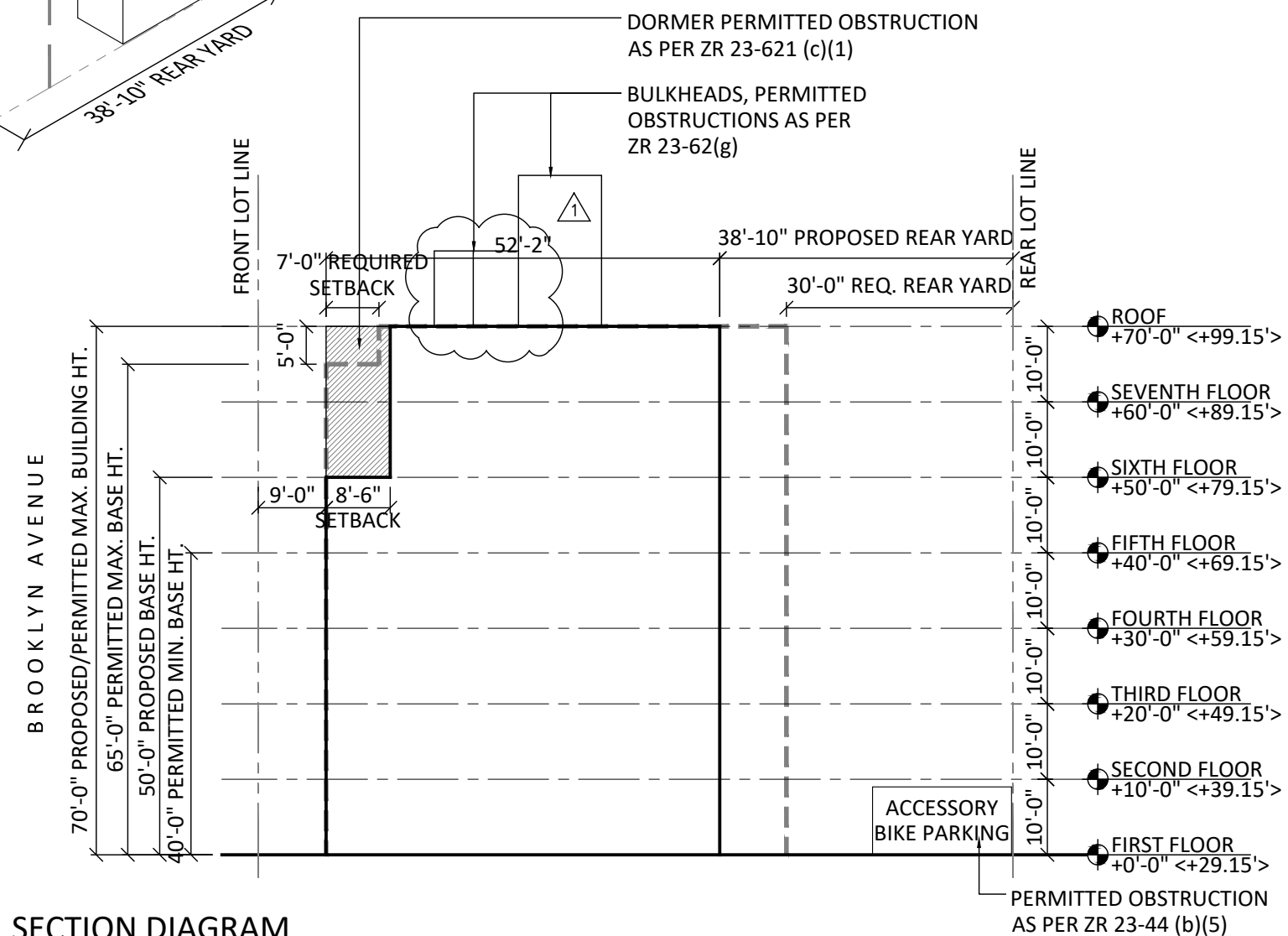
-  PROPOSED BUILDING
-  PROPOSED DORMER
-  MAXIMUM BUILDING ENVELOPE

DORMER COMPLIANCE AS PER ZR 23-621(c)(1)

DORMER PROPOSED AT 6TH-7TH FLOOR 5' ABOVE MAXIMUM BASE HEIGHT

WIDTH OF STREET WALL OF 5TH FLOOR = 49'-8"
49'-8" X (60% - 5) = 27'-3" PERMITTED DORMER WIDTH

WIDTH OF DORMER = 24'-8" < 27'-3", COMPLIES.



SECTION DIAGRAM
NOT TO SCALE

