

ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS
job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s) **953**
Street Name **DEAN STREET**
Borough **BROOKLYN**
Block **1134**
Lot (s) **96 & 4**

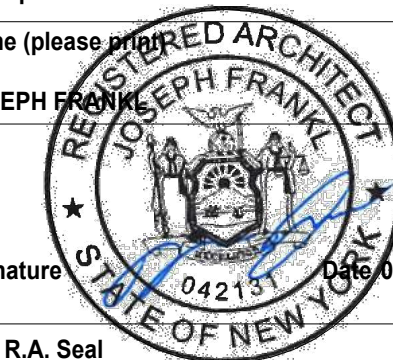
BIN **3396260**

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications of documents with the Department.

Name (please print)

JOSEPH FRANK

Signature



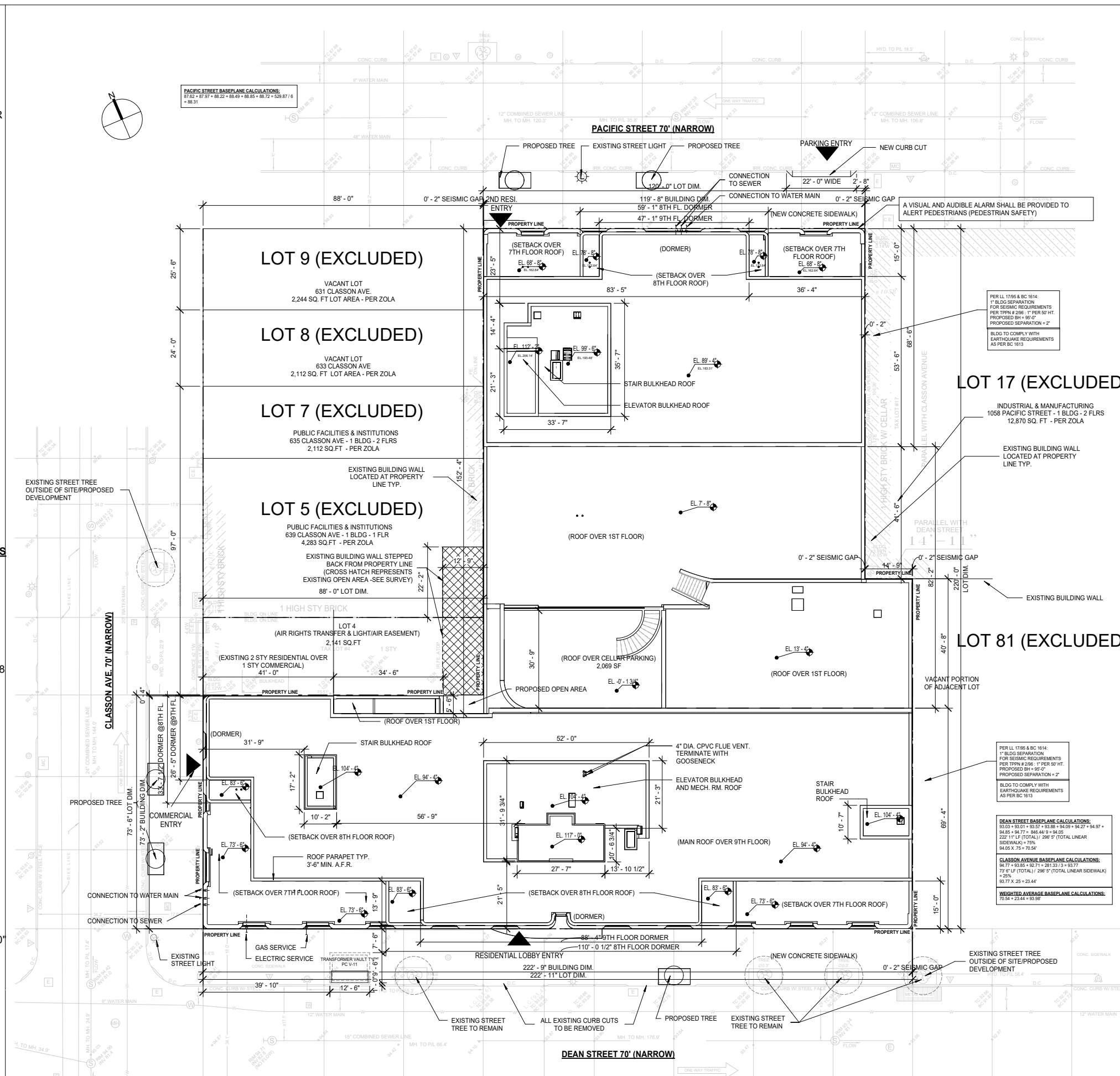
Date 03/31/2025

P.E. / R.A. Seal
(apply seal, then sign and date over seal)

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PLAN EXAMINER SIGN AND DATE



1 SITE PLAN
N.T.S.

PROPERTY DATA
ADDRESS: 953 DEAN STREET, BROOKLYN 11238
TAX BLOCK: 1134
TAX LOTS: 96 & LOT 4 (AIR RIGHTS AND LIGHT & AIR EASEMENT)
ZONING MAP NO.: 16C
ZONING DISTRICT: R7A / M1-4
SPECIAL DISTRICT: MX-20
ENVIRONMENTAL: HAZMAT PHASE I & II. HAZMAT NOISE & AIR INCLUSIONARY PROGRAM: MANDATORY INCLUSIONARY HOUSING (MIH). OPTION 1 & 2 ONLY
TRANSIT ZONE: YES (NOT WITHIN 200 FT. OF MTA LINE)
THIS PROJECT IS NOT WITHIN LPC DISTRICT OR 90' OF LPC BUILDING

COMMUNITY DISTRICT: 8
PROJECT IS NOT IN SFHA

THIS PROJECT WILL NOT BE A MODULAR CONSTRUCTION

SCOPE OF WORK
PROPOSED 9 STORY & CELLAR MIXED USE BUILDING TOTAL OF 240 DWELLING UNITS.
STRUCTURAL OCCUPANCY CATEGORY: II
SEISMIC DESIGN CATEGORY: B
OCCUPANCY CLASSIFICATION: R-2, M
CONSTRUCTION CLASSIFICATION: IB
MULTIPLE DWELLING CLASSIFICATION: HAEA

USE REGULATION
ZR 123-20 / ZR 22-12: PERMITTED USE GROUPS: II
PROPOSED:
USE GROUP: II
ZR 123-20 / ZR 22-16: PERMITTED USE GROUPS: VI
PROPOSED:
USE GROUP: VI

COMBINED LOT AREA:
36,650 SF (SEE SURVEY)

REFER TO ZONING REGULATIONS:
- **ZR 123-10** - GENERAL PROVISIONS
- **ZR 123-64** : (b) - LOT COVERAGE: LOT COVERAGE REQUIREMENTS SHALL NOT APPLY

-ZR 23-22 FLOOR AREA REGULATIONS FOR R6-R12 DISTRICTS
THE MAXIMUM FLOOR AREA RATIO FOR THE APPLICABLE ZONING DISTRICT IN INCLUSIONARY HOUSING DESIGNATED AREAS SET FORTH IN PARAGRAPH (B) OF THIS SECTION SHALL APPLY TO THE APPLICABLE ZONING DISTRICT IN A MANDATORY INCLUSIONARY HOUSING AREA:
MAX. ALLOWABLE F.A.R. (R7A): 5.01 X 36,650 SQ.FT. (TOT. LOT AREA) = 183,616.50 SQ.FT.
PROPOSED RESIDENTIAL F.A.R. : (162,261.73 S.F. (NEW) + 1,992 S.F. (EXISTING LOT 4) = 164,253.73 / 36,650) = 4.48 (OK)
PROPOSED COMMERCIAL F.A.R. : (16,973.03 S.F. (NEW) + 1,838 S.F. (EXISTING LOT 4) = 18,811.03 / 36,650) = 0.51 (OK)
TOTAL PROPOSED COMBINED F.A.R.: 4.48 + 0.51 = 4.99 (OK)
(SEE TABLE ON PAGE 2)

- ZR 43-12: M1-4
MAXIMUM PERMITTED COMMERCIAL FAR: 2.0.
PROPOSED COMMERCIAL FAR: 0.51 (OK)

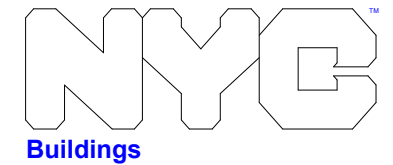
- ZR 23-52 MAXIMUM NUMBER OF DWELLING UNITS
MAXIMUM ALLOWABLE # OF D.U. (RESIDENTIAL F.A.R.) / 680
183,616.50 - (16,973.03 SF NEW COMMERCIAL) - (1,838 EXISTING COMMERCIAL LOT 4) = 164,804.97 / 680 = 242
242 - (2 EXISTING DUs LOT 4) = 240 TOTAL PERMITTED 240 PROPOSED D.U.'S (OK)

- ZR 23-344 REAR YARD EQUIVALENT REQUIREMENTS
40'-0" MIN. BELOW 75'-0", 60'-0" MIN. ABOVE 75'-0"
PROPOSED REAR YARD EQUIVALENT: 82'-2" > 60'-0" (OK)

- ZR 23-432 HEIGHT AND SETBACK REQUIREMENTS
MAX. BASE HEIGHT W/ QUALIFYING AH: 85'-0"
PROPOSED BASE HEIGHT: 74'-4" < 85'-0" (OK)
MAXIMUM BUILDING HEIGHT: 115'-0"

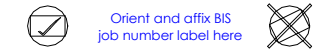
- ZR 23-433 STANDARD SETBACK REGULATIONS
REQUIRED SETBACK ABOVE MAX BUILDING HEIGHT: 15'-0"
PROPOSED FRONT SETBACK ABOVE MAX BASE HEIGHT: 15'-0" (OK)

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 Block 1134
 Lot (s) 96 & 4

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Name (please print) JOSEPH FRANKS
 Signature  Date 03/31/2025

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- ZR 23-413 PERMITTED OBSTRUCTIONS IN CERTAIN DISTRICTS

(B) 1) DORMERS SHALL BE ALLOWED AS A PERMITTED OBSTRUCTION, PROVIDED THAT ON ANY STREET FRONTAGE, EITHER ONE OF THE FOLLOWING METHODS IS APPLIED:

(I) THE AGGREGATE WIDTH OF ALL DORMERS AT THE MAXIMUM BASE HEIGHT DOES NOT EXCEED 60 PERCENT OF THE WIDTH OF THE STREET WALL OF THE HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT. FOR EACH ONE FOOT ABOVE THE MAXIMUM BASE HEIGHT, THE AGGREGATE WIDTH OF ALL DORMERS SHALL BE DECREASED BY ONE PERCENT OF THE STREET WALL WIDTH OF THE HIGHEST STORY ENTIRELY BELOW THE MAXIMUM BASE HEIGHT

DORMER CALCULATION ALONG PACIFIC STREET

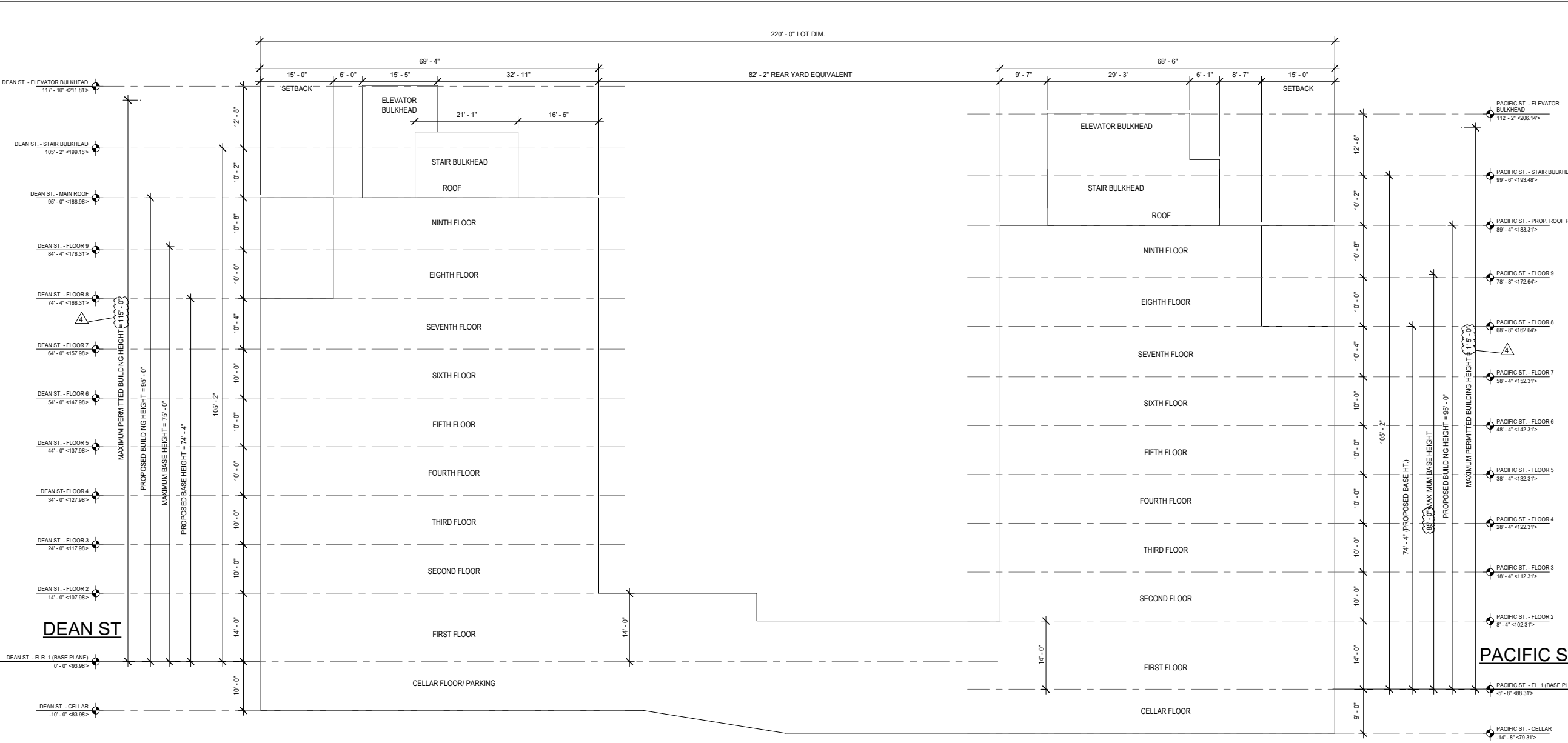
BUILDING WIDTH @ 7TH: 119'-8"
 DORMER HEIGHT EXCEEDING MAX. BASE HEIGHT @ 8TH FL: 9'-8" (60 - 9.67 = 50.33%)
 MAX ALLOWABLE DORMER WIDTH @ 8TH FL: 119'-8" X 50.33% = 60'-2 3/4"
 PROPOSED DORMER WIDTH: 59'-1" (OK)
 DORMER HEIGHT EXCEEDING MAX. BASE HEIGHT @ 9TH FL: 20'-0" (60 - 20 = 40%)
 MAX ALLOWABLE DORMER WIDTH @ 9TH FL: 119'-8" X 40% = 47'-10"
 PROPOSED DORMER WIDTH: 47'-1" (OK)

DORMER CALCULATION ALONG DEAN STREET

BUILDING WIDTH @ 7TH: 222'-9"
 DORMER HEIGHT EXCEEDING MAX. BASE HEIGHT @ 8TH FL: 9'-8" (60 - 9.67 = 50.33%)
 MAX ALLOWABLE DORMER WIDTH @ 8TH FL: 222'-9" X 50.33% = 112'-1"
 PROPOSED DORMER WIDTH: 110'-0 1/2" (OK)
 DORMER HEIGHT EXCEEDING MAX. BASE HEIGHT @ 9TH FL: 20'-0" (60 - 20 = 40%)
 MAX ALLOWABLE DORMER WIDTH @ 9TH FL: 222'-9" X 40% = 89'-1"
 PROPOSED DORMER WIDTH: 88'-4" (OK)

DORMER CALCULATION ALONG CLASSON AVE.

BUILDING WIDTH @ 7TH: 73'-4"
 DORMER HEIGHT EXCEEDING MAX. BASE HEIGHT @ 8TH FL: 9'-8" (60 - 9.67 = 50.33%)
 MAX ALLOWABLE DORMER WIDTH @ 8TH FL: 73'-4" X 50.33% = 36'-10 7/8"
 PROPOSED DORMER WIDTH: 33'-7 1/2" (OK)
 DORMER HEIGHT EXCEEDING MAX. BASE HEIGHT @ 9TH FL: 20'-0" (60 - 20 = 40%)
 MAX ALLOWABLE DORMER WIDTH @ 9TH FL: 73'-4" X 40% = 29'-4"
 PROPOSED DORMER WIDTH: 26'-5" (OK)



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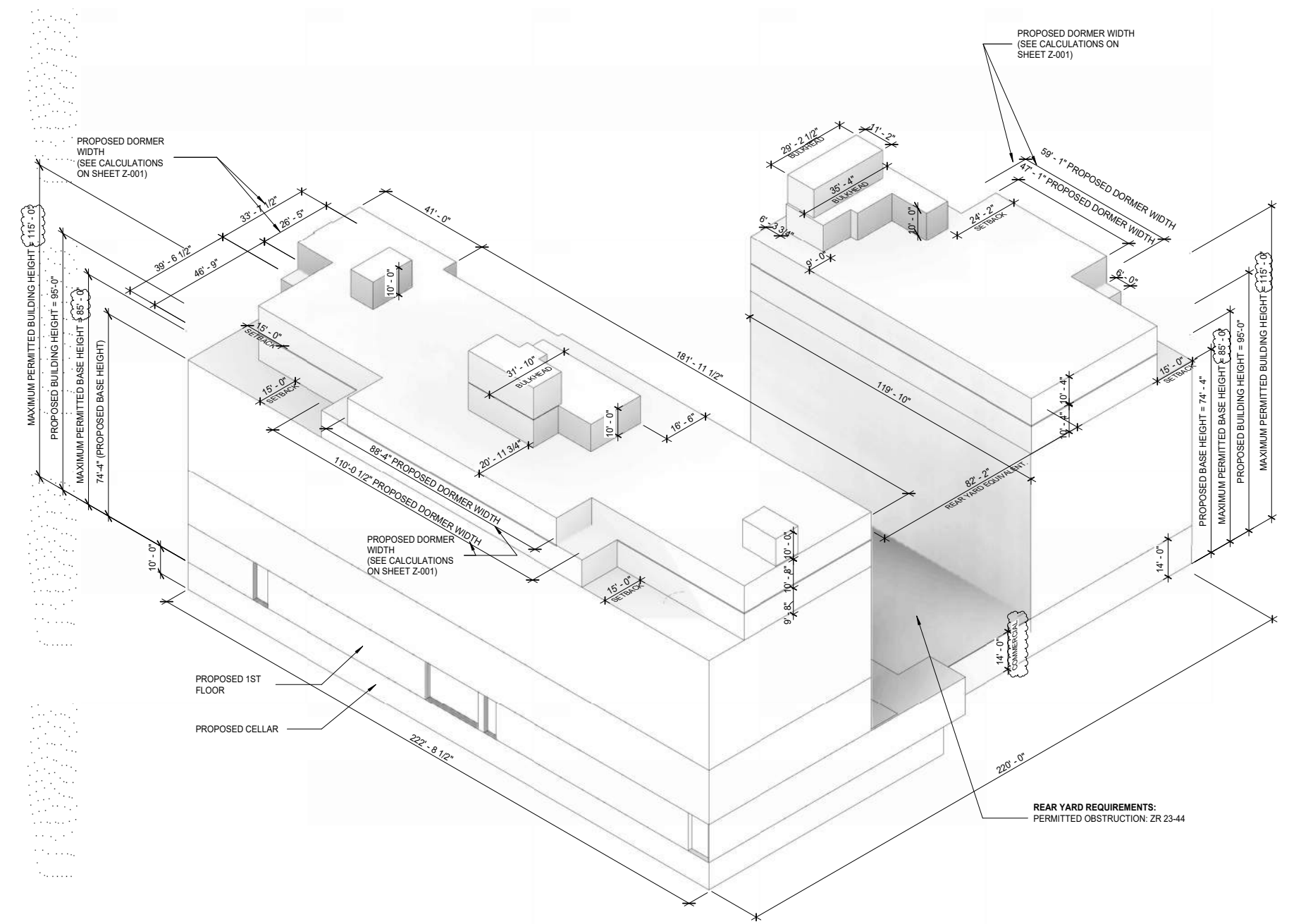
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1 AXONOMETRIC DIAGRAM
N.T.S

FLOOR	USE GROUP	FLOOR AREA										ZONING FLOOR AREA		
		COMMERCIAL	RESIDENTIAL	MECHANICAL DEDUCTIONS	CORRIDOR DEDUCTION (LID)	OPEN TO BELOW	BULKHEAD DEDUCTION	PARKING	AMENITIES	REFUSE ROOM DEDUCTION	EXTERIOR WALL DEDUCTIONS	TOTAL DEDUCTIONS PER FLOOR	COMMERCIAL	RESIDENTIAL
CELLAR	II		30,035.45								30,035.45			
	VI	965.91									965.91			
1ST FLOOR	II	15,149.42	238.32	1,809.28			977.88	5,256.21	15.00	121.49	8,418.18		6,731.24	
	VI	17,142.73	6.14							163.62	169.76	16,973.03		
2ND FLOOR	II	23,658.12	976.38	1,858.18	741.96				24.00	478.07	4,078.59		19,579.53	
3RD FLOOR	II	23,696.41	1,029.84	1,858.93					24.00	542.98	3,455.74		20,240.67	
4TH FLOOR	II	23,696.41	1,029.84	1,858.93					24.00	542.98	3,455.74		20,240.67	
5TH FLOOR	II	23,696.41	1,029.84	1,858.93					24.00	542.98	3,455.74		20,240.67	
6TH FLOOR	II	23,540.51	1,036.06	1,858.93					24.00	550.99	3,469.97		20,070.54	
7TH FLOOR	II	23,540.51	1,036.06	1,858.93					24.00	550.99	3,469.97		20,070.54	
8TH FLOOR	II	20,525.60	975.66	1,829.05					24.00	365.88	3,194.59		17,331.01	
9TH FLOOR	II	19,953.39	843.25	1,824.40					24.00	371.88	3,063.53		16,889.86	
ROOF	II		2,271.73	842.78			411.52			150.43	1,404.73		867.00	
SUBTOTALS		18,108.70	229,763.96	9,044.16	16,615.54	741.96	411.52	977.88	5,256.21	207.00	4,382.28	68,637.90	16,973.03	162,261.73
TOTAL			247,872.66											179,234.76
EXISTING GSF (LOT 4)	II		1,992.00											1,992.00
	VI	1,838.00											1,838.00	
SUBTOTALS		19,946.70	231,755.96										18,811.03	164,253.73
TOTALS (NEW & EXIST.)			251,702.66											183,064.76

2 FLOOR AREA CHART
N.T.S

