

TAX LOT 81

TAX LOT 83

TAX LOT 84

EXISTING 1 STORY MASONRY & METAL ADJACENT BUILDING

HIGH YARD ASPHALT PARKING

PARALLEL WITH MAPLE STREET

833 MAPLE STREET
BROOKLYN, NY 11203

PROPOSED 7 STORY RESIDENTIAL BUILDING

BLOCK: 4588
LOT: 102
OCCUPANCY CLASS: R-2
USE GROUP: 2A&2B
20 CLASS 'A' DWELLING UNITS
CONSTRUCTION CLASS: IB
STRUCTURAL OCCUPANCY: II
FIRE DISTRICT: INSIDE
BUILDING HEIGHT: 74' - 8"
LOT AREA: 4,000 SF

100.00'

100.00'

OPEN PARKING

PER IL 17/95 & BC 1614:
PROPOSED SEPARATION = 2"

39' - 10"

6 STORY

8' - 1"

24' - 3"

7' - 7"

62' - 0"

10' - 0"

20' - 4"

9' - 6"

7 STORY

6 STORY

7 STORY

DORMER A.1

15' - 0"

DORMER A.2

CONCRETE

VINYL SHED

GATE

UTILITY LIGHT POLE

STREET SIGN

EXISTING TREE 2"

EXISTING TREE 2"

GAS VALVE

GAS VALVE

GAS VALVE

PROP CURB CUT #B00642616

12 INCH COMBINED SEWER

12 INCH COMBINED SEWER (111.5' BETWEEN SEWER MANHOLES)

8 INCHES WATER MAIN

8 INCHES WATER MAIN

8 INCHES WATER MAIN

8 INCHES WATER MAIN

ONE WAY TRAFFIC

ELECTRICAL BOX

FIRE HYDRANT

21' - 0" FROM PROPERTY LINE

58' - 2"

TO FIRE HYDRANT

TAX LOT 98

FULL DEMOLITION TO A ONE STORY HOUSE UNDER JOB # 322111293 & # 321948247

TAX LOT 94

HIGH 1 STORY BRICK

CONC. SIDEWALK

113' - 3"

60' WIDE (NARROW STREET)

BASE PLANE CALCULATION

36.36 36.13 72.49 / 236.25

NOTES:

- 1. FC 508.5.1: BUILDING ENTRANCE IS WITHIN 250 FT OF A FIRE HYDRANT
- 2. ALL ELEVATIONS IN ACCORDANCE WITH NAVD
- 3. NO GAS IN BUILDING

ZR 23-841 (b) (3) NARROW OUTER COURTS:
AN OUTER COURT IS LESS THAN 30 FEET WIDE, THE WIDTH OF SUCH OUTER COURT SHALL BE AT LEAST EQUAL TO THE DEPTH OF SUCH OUTER COURT.
(3) THE AREA OF SUCH SMALL OUTER COURT SHALL NOT BE LESS THAN 200 SQUARE FEET AND NO DIMENSION SHALL BE LESS THAN 10 FEET

OUTER COURT:
WIDTH OF PROPOSED OUTER COURT = 20'-4" < 30'-0"
DEPTH OF THE SMALL OUTER COURT = 15'-0" > 10'-0"
AREA OF THE SMALL OUTER COURT 305 SF < 200 SF, THEREFORE OK

LEGEND

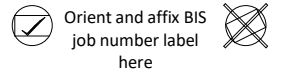
R7-1
QUALITY HOUSING PROGRAM

- PROPERTY LINE
- DISTRICT BOUNDARY
- PROPOSED BUILDING
- EXISTING BUILDING
- EXISTING TREE
- PROPOSED TREE



ZD1 Zoning Diagram

Must be typewritten.



Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s) 833 MAPLE STREET
Street Name
Borough BROOKLYN
Block 4588
Lot (s) 102
BIN 3099129

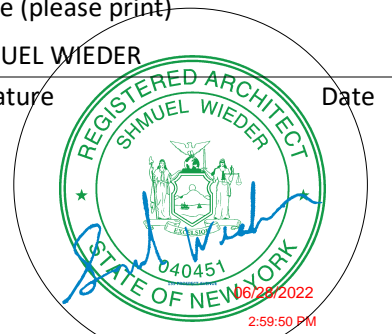
Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications of documents with the Department.

Name (please print)

SHMUEL WIEDER

Signature

Date



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # B00639064-I1

PLAN EXAMINER SIGN AND DATE

UTICA AVENUE
100' WIDE (WIDE STREET)

MAPLE STREET
60' WIDE (NARROW STREET)

NO SITE PLAN

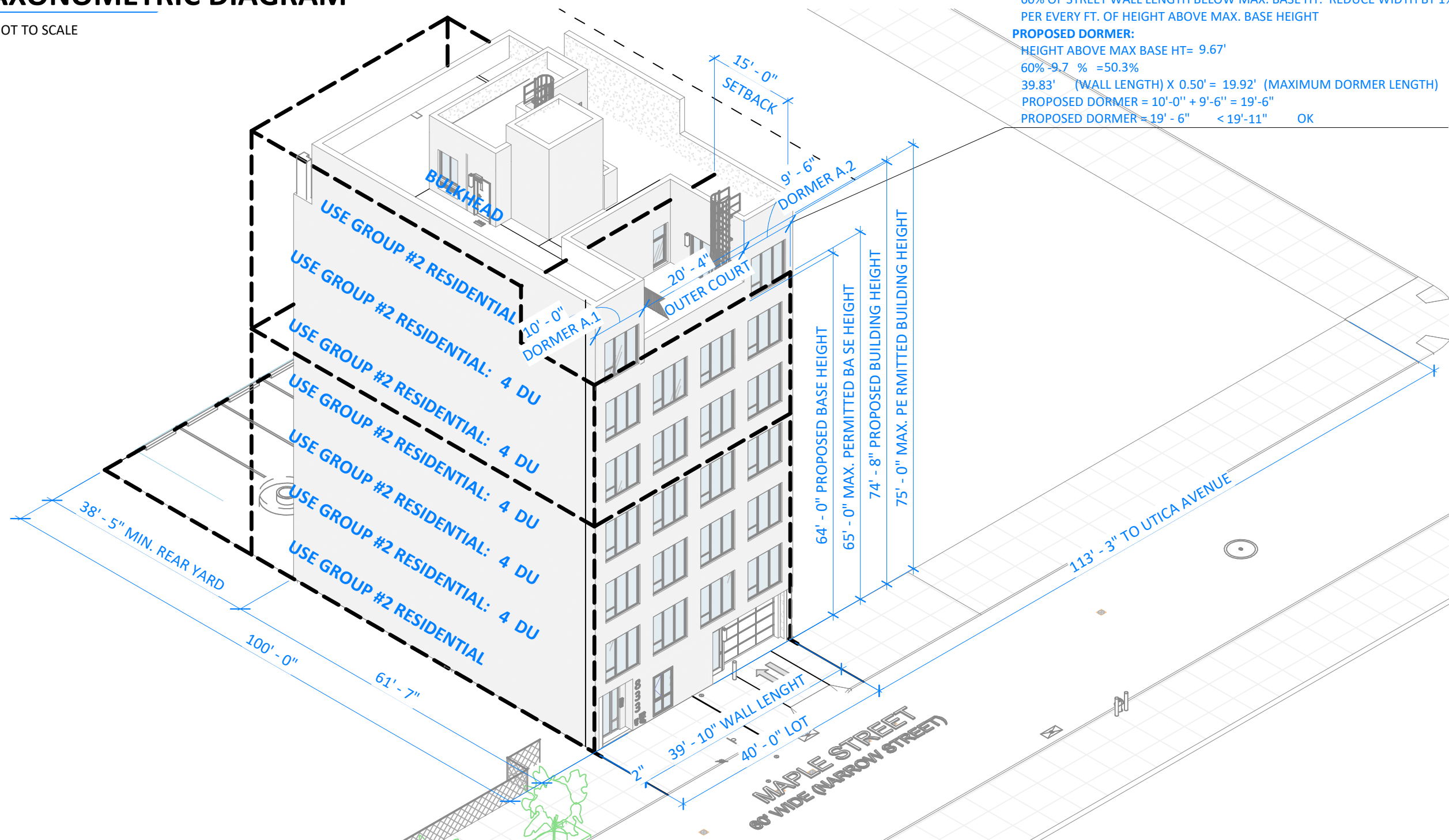
SCALE: 1/16" = 1'-0"

1

BUILDING ENTRANCE IS WITHIN 250 FT OF A FIRE HYDRANT

AXONOMETRIC DIAGRAM

NOT TO SCALE



DORMER A:
 60% OF STREET WALL LENGTH BELOW MAX. BASE HT. REDUCE WIDTH BY 1% PER EVERY FT. OF HEIGHT ABOVE MAX. BASE HEIGHT
PROPOSED DORMER:
 HEIGHT ABOVE MAX BASE HT= 9.67'
 60% * 9.7 % = 50.3%
 39.83' (WALL LENGTH) X 0.50' = 19.92' (MAXIMUM DORMER LENGTH)
 PROPOSED DORMER = 10'-0" + 9'-6" = 19'-6"
 PROPOSED DORMER = 19'-6" < 19'-11" OK



ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

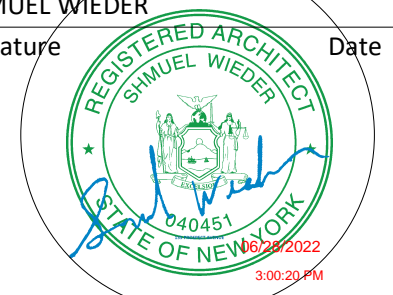
House No(s) 833 MAPLE STREET
 Street Name _____
 Borough BROOKLYN
 Block 4588
 Lot (s) 102
 BIN 3099129

Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications of documents with the Department.

Name (please print)

SHMUEL WIEDER

Signature _____ Date _____



P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # B00639064-I1

PLAN EXAMINER SIGN AND DATE

LEGEND

MAX BUILDING ENVELOPE

PROPOSED BUILDING

PERMITTED OBSTRUCTION

ZR 23-662(C)(2) REQUIRED SETBACKS

REQUIRED SETBACK @ NARROW ST: 15' - 0"
 PROPOSED SETBACK @ NARROW ST: 15' - 0"

ZR 23-62 (G) (1)(2)(3) PERMITTED OBSTRUCTION

COMPLIES

ZR 23-661(a)(2) STREET WALL LOCATION

ADJACENT BUILDING > 15'-0" NON COMPLYING
 BUILDING STARTS AT PROPERTY LINE

ZR 23-662 BUILDING HEIGHT

REQUIRED MIN. BASE HEIGHT: 40' - 0"
 PROPOSED MIN. BASE HEIGHT: 64' - 0"
 REQUIRED MAX. BASE HEIGHT: 65' - 0"
 PROPOSED MAX. BASE HEIGHT: 64' - 0"
 REQUIRED MAX BUILDING HEIGHT: 75' - 0"
 PROPOSED MAX BUILDING HEIGHT: 74' - 8"

ZR 23-841 (b) (3) NARROW OUTER COURTS :

WIDTH OF PROPOSED OUTER COURT = 20'-4" < 30'-0"
 DEPTH OF THE SMALL OUTER COURT = 15' - 0" > 10'-0"
 AREA OF THE SMALL OUTER COURT 305 SF < 200 SF,
 THEREFORE OK

ZD1 Zoning Diagram

Must be typewritten.

Orient and affix BIS job number label here

Submitted to resolve objections stated in a notice of intent to revoke issued pursuant to rule 101-15.

Yes No

Location Information

House No(s) 833 MAPLE STREET
 Street Name _____
 Borough BROOKLYN
 Block 4588
 Lot (s) 102
 BIN 3099129

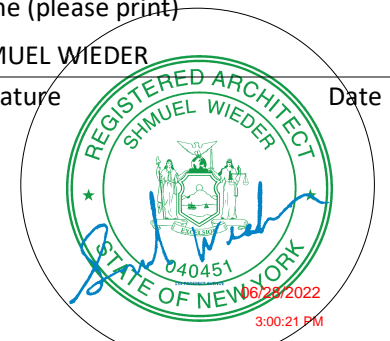
Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to a city employee, or for a city employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by imprisonment or fine or both. I understand that if I am found after hearing to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of this code or of a rule of any agency, I may be barred from filing further applications of documents with the Department.

Name (please print)

SHMUEL WIEDER

Signature

Date

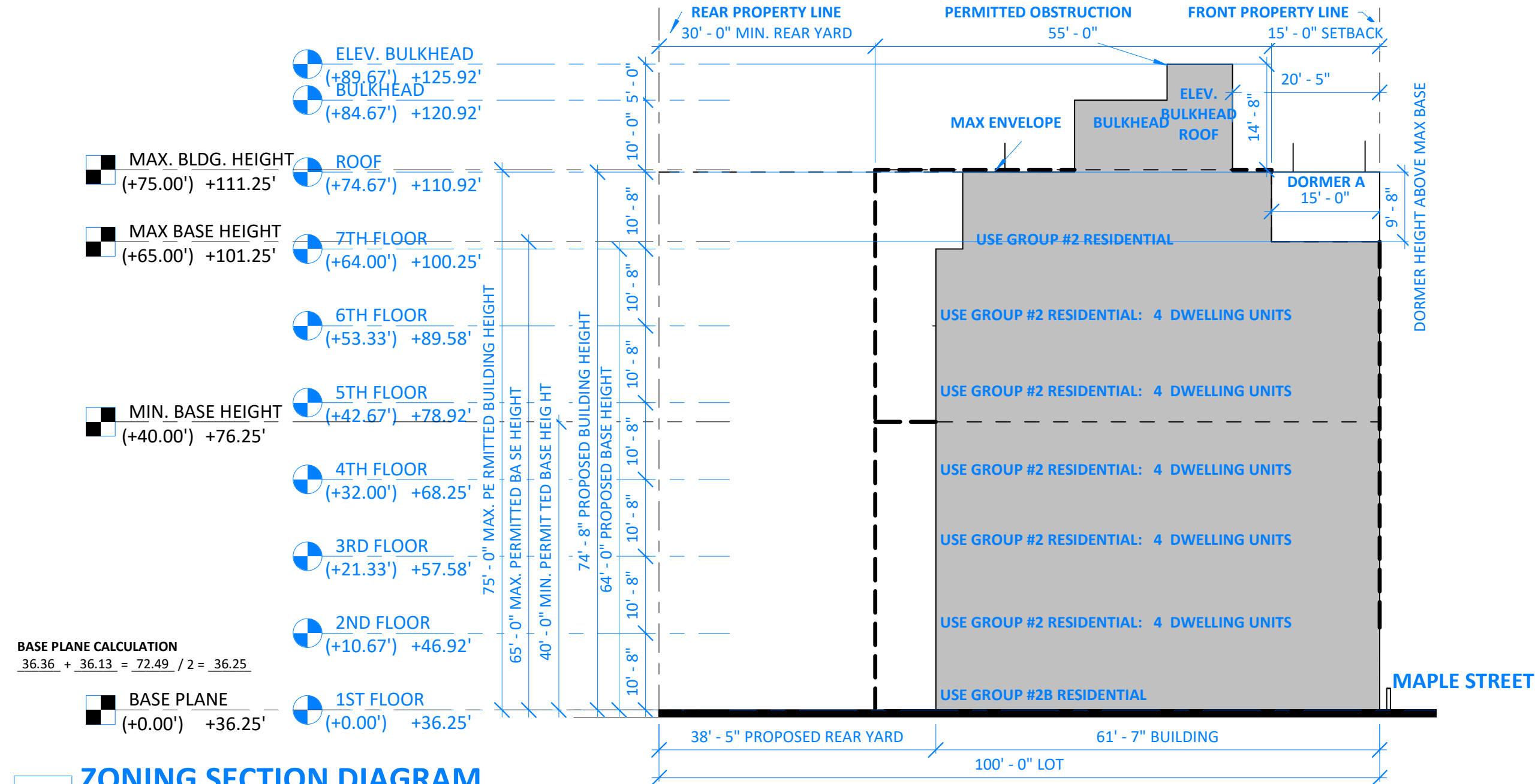


P.E. / R.A. Seal (apply seal, then sign and date over seal)

Internal Use Only

BIS Doc # B00639064-11

PLAN EXAMINER SIGN AND DATE



ZONING SECTION DIAGRAM

1

SCALE: 1/16" = 1'-0"

ZR 23-662(C)(2) REQUIRED SETBACKS

REQUIRED SETBACK @ NARROW ST: 15' - 0"
 PROPOSED SETBACK @ NARROW ST: 15' - 0"

ZR 23-661(a)(2) STREET WALL LOCATION

ADJACENT BUILDING > 15'-0" NON COMPLYING
 BUILDING STARTS AT PROPERTY LINE

ZR 23-662 BUILDING HEIGHT

REQUIRED MIN. BASE HEIGHT: 40' - 0"
 PROPOSED MIN. BASE HEIGHT: 64' - 0"
 REQUIRED MAX. BASE HEIGHT: 65' - 0"
 PROPOSED MAX. BASE HEIGHT: 64' - 0"
 REQUIRED MAX BUILDING HEIGHT: 75' - 0"
 PROPOSED MAX BUILDING HEIGHT: 74' - 8"

ZR 23-62 (G) (1)(2) (3)

(1) PROPOSED BULKHEAD IS SETBACK 20'-8" FROM STREET WALL

(2) ALL MECHANICAL EQUIPMENT SHALL BE SCREENED ON ALL SIDES.
 COMPLIES

(3)(II) PROPOSED BUILDING LOT COVERAGE = 2,470 SF
 PERMITTED OBSTRUCTION AREA (2,470 X .2) = 494 SF
 PROPOSED OBSTRUCTION AREA = 362 SF
 362 SF < 494 SF OK
 MAX. PERMITTED BUILDING HEIGHT 75'-0" < 120'-0"
 PROPOSED OBSTRUCTION HEIGHT = 15'-0"
 15'-0" < 25'-0" OK

